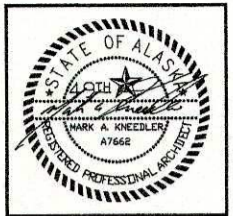


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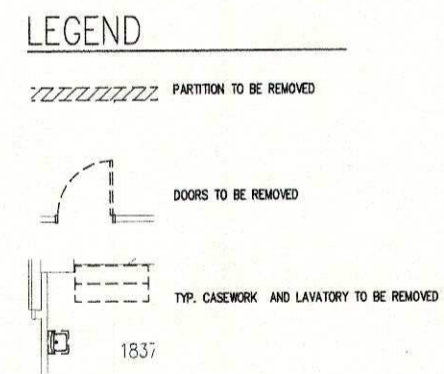
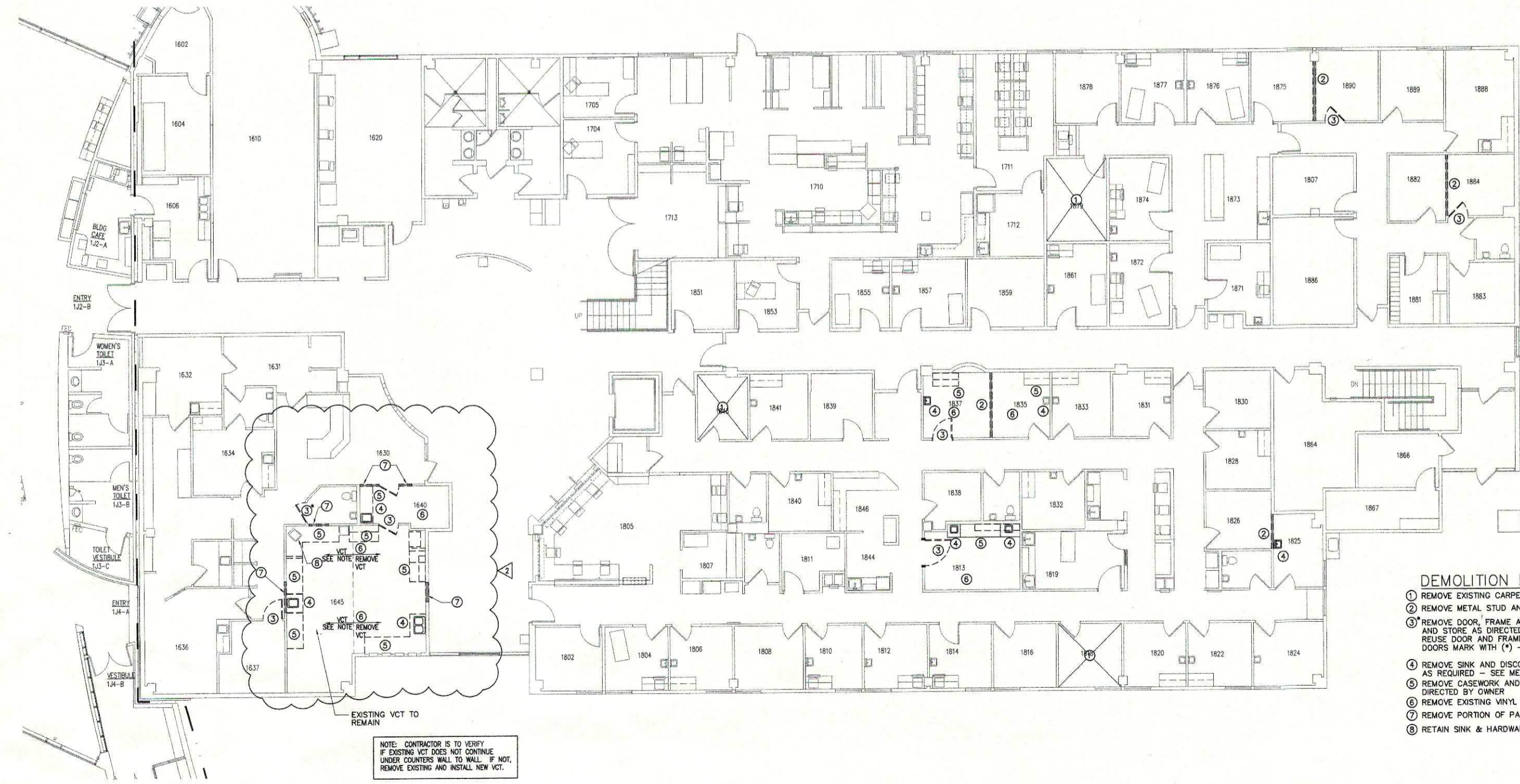
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Supplemental to:
Permit 04-5475

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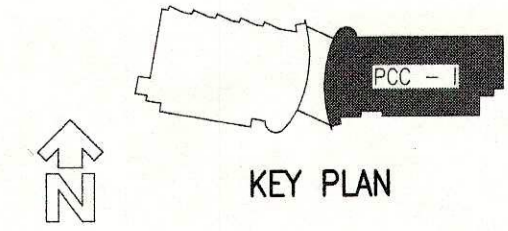


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- DEMOLITION NOTES:**
- 1 REMOVE EXISTING CARPET
 - 2 REMOVE METAL STUD AND GWB PARTITION
 - 3 REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE AND STORE AS DIRECTED BY OWNER - WHERE POSSIBLE REUSE DOOR AND FRAME IN REQUIRED WORK AREAS DOORS MARK WITH (*) - REMOVE DOOR ONLY
 - 4 REMOVE SINK AND DISCONNECT & CAP PLUMBING IN WALL AS REQUIRED - SEE MECHANICAL
 - 5 REMOVE CASEWORK AND REUSE OR STORE AS DIRECTED BY OWNER
 - 6 REMOVE EXISTING VINYL FLOORING
 - 7 REMOVE PORTION OF PARTITION AS REQUIRED FOR NEW CONSTRUCTION
 - 8 RETAIN SINK & HARDWARE FOR REINSTALLATION

A1 PRIMARY CARE CENTER I - FIRST FLOOR DEMOLITIONS
D1.1 1/8" = 1'-0"



Revisions

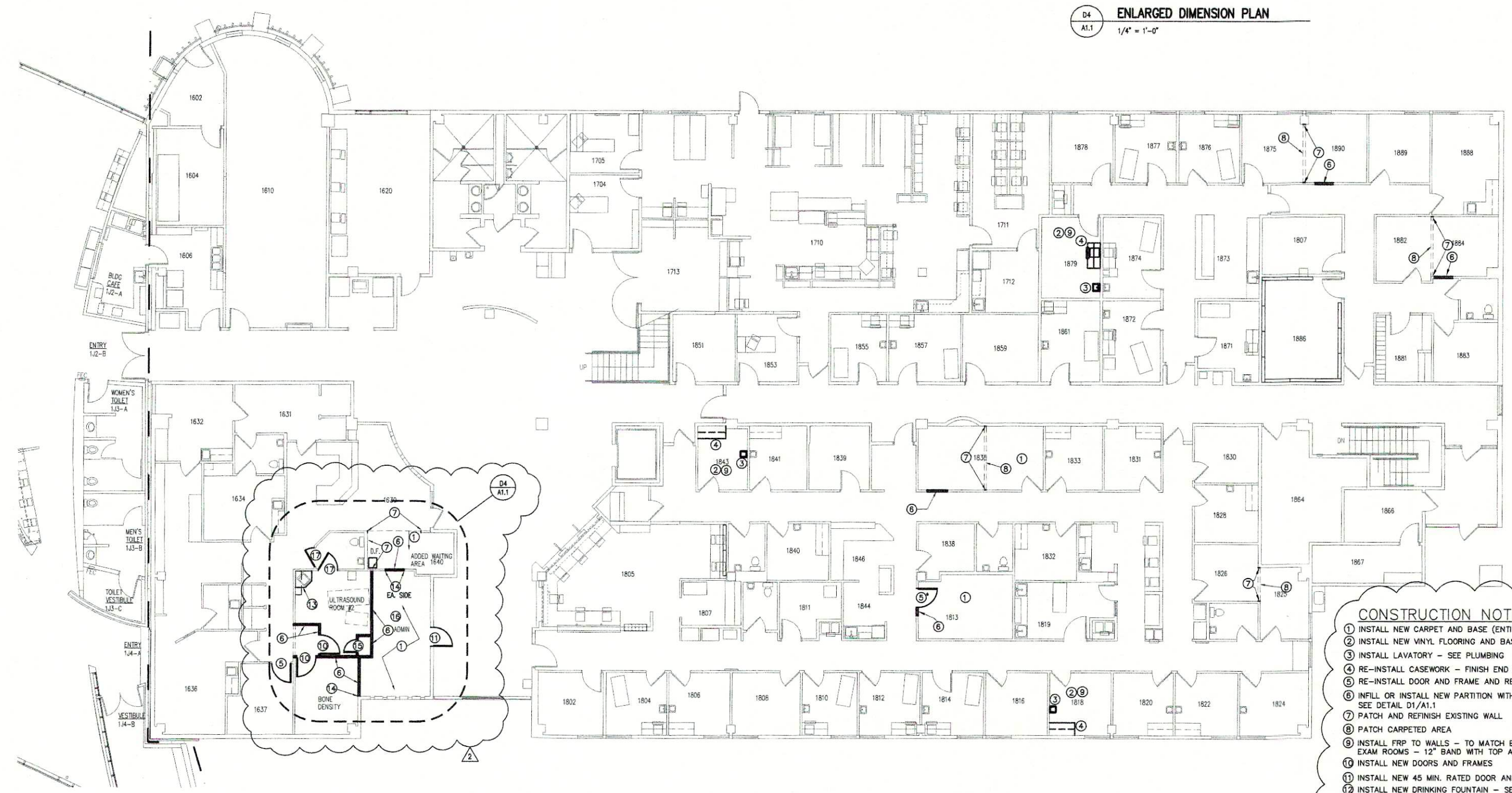
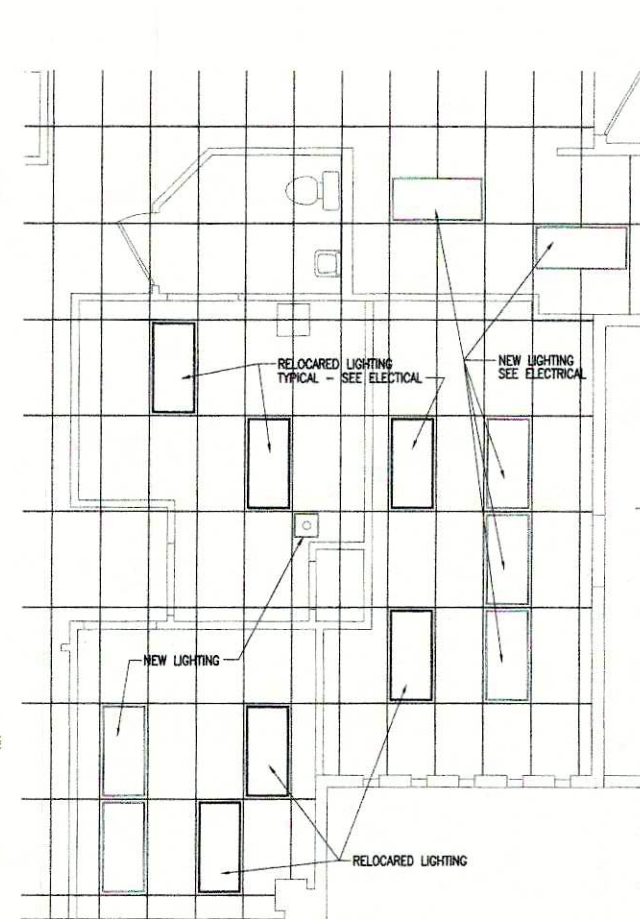
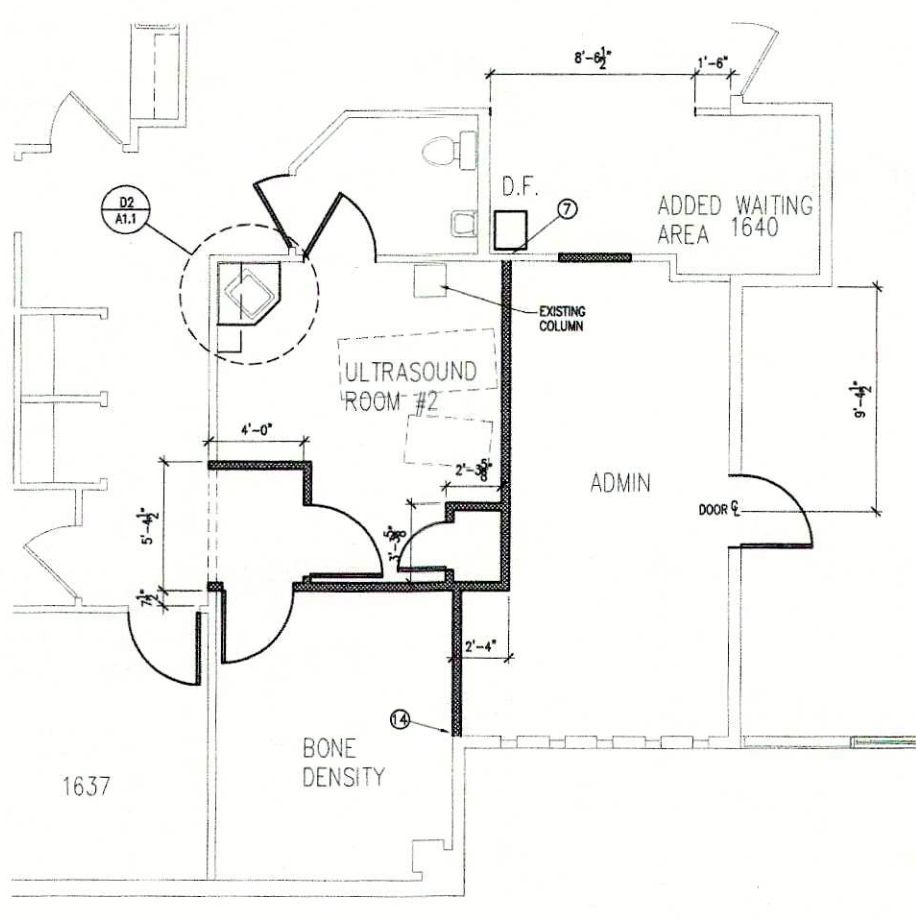
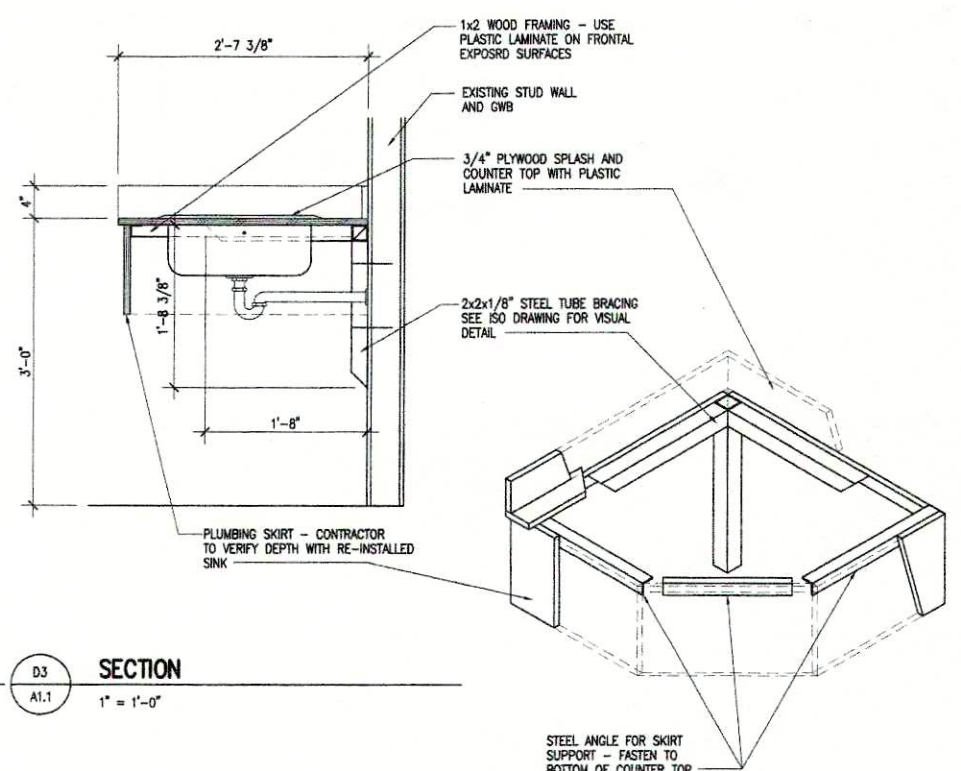
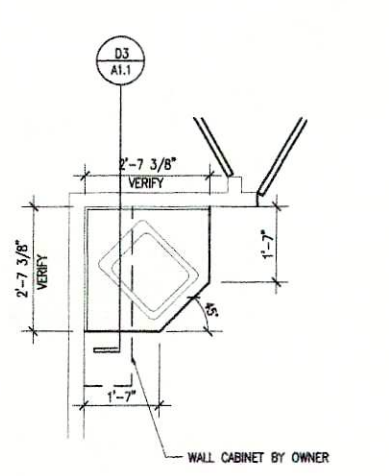
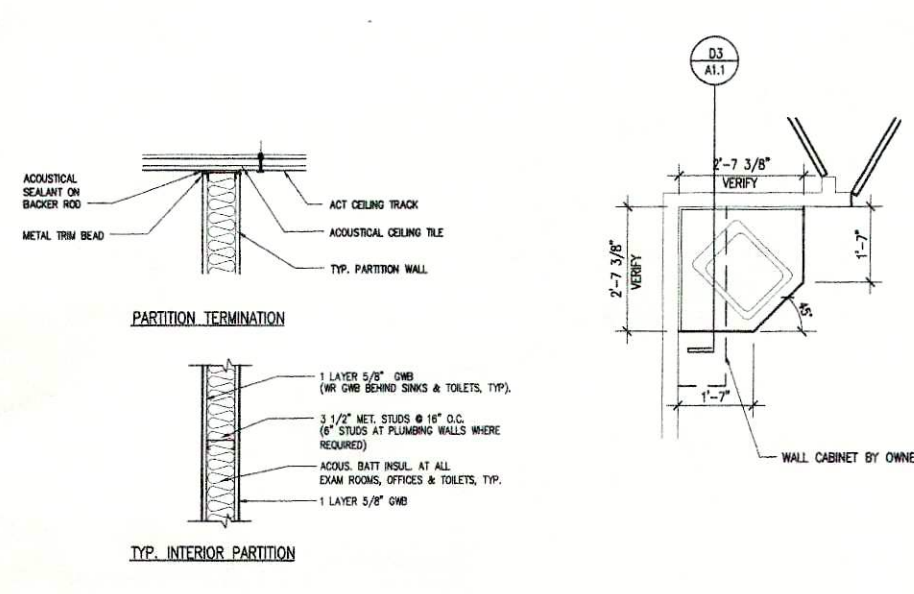
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2	ULTRASOUND & BONE DENS	08/12/04
	BONE DENSITY	

Drawn by	Date
WMA	16 APRIL 2004
Checked	Job No.
WAK	03062.01

Sheet Contents

PCC - I - FIRST FLOOR DEMOLITION PLAN
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Discipline	Sheet No.
D	1.1



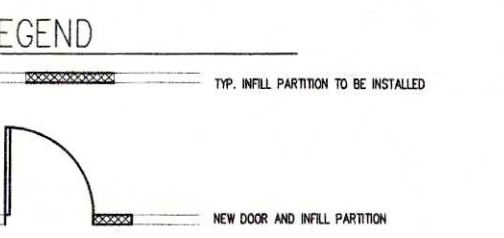
NOTE: ALL PARTITIONS ARE UP TO EXISTING GRID. CONTRACTOR TO REPLACE ANY PORTION OF GRID THAT MAY BE DAMAGED DURING DEMOLITION AND CONSTRUCTION

SPECIFICATION NOTE:

THE CONTRACTOR IS TO SUPPLY TWO NEW DOORS AT EXISTING LAVATORY WITH THE FOLLOWING HARDWARE:

- 2 - MORTISE LOCKS WITH ACIS M15100-00-1-24VDC/AC MODIFICATIONS
- 2 - ACIS SERIES 1100 ELECTRIC HINGE
- 2 - INDICATORS MARKED "OCCUPIED"
- 2 - PUSH BUTTONS WITH INDICATOR MARKED "PUSH TO LOCK"
- 2 - DOOR POSITION SWITCHES
- 1 - 1400-02-00 POWER SUPPLY, 24V @ 2 AMP

THE ABOVE DESCRIPTIONS ARE FROM ARCHITECTURAL CONTROL SYSTEMS, INC. SERIES 6100 COMMUNICATING BATH SYSTEMS.



CONTRACTOR NOTE:

ALL SHOWN DIMENSIONS ARE +/- AND MUST BE VERIFIED BY CONTRACTOR PRIOR TO DEMOLITION OR CONSTRUCTION.

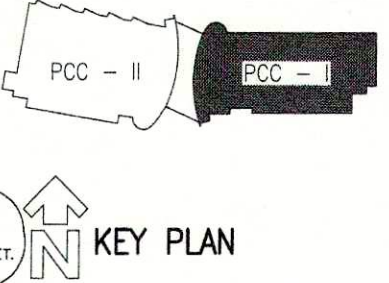
NOTE:

CEILING: CONTRACTOR TO REPLACE ALL CEILING GRID SYSTEM WHERE REMOVED PARTITIONS HAD BEEN REMOVED AND REPLACE ANY DAMAGED CEILING TILE TO MATCH EXISTING

PAINING: WHERE INFILL OR WALLS ARE BEING REPLACED, CONTRACTOR IS TO PAINT ALL INTERIOR WALLS OF OFFICES AND EXAM ROOMS. NEW PAINT SHALL BE APPLIED TO WALL SURFACES IN CORRIDORS TO EACH SIDE OF INFILL TO NEAREST PERPENDICULAR CORNER

DOORS AND HARDWARE: CONTRACTOR IS TO REUSE EXISTING DOORS AND FRAMES REMOVED DURING DEMOLITION. MATCH HARDWARE TO SAME FOR OFFICES AND SAME FOR EXAM ROOMS. OWNER WILL ADVISE CONTRACTOR OF ANY REQUIRED SPECIALTY HARDWARE.

- CONSTRUCTION NOTES**
- 1 INSTALL NEW CARPET AND BASE (ENTIRE ROOM)
 - 2 INSTALL NEW VINYL FLOORING AND BASE (ENTIRE ROOM)
 - 3 INSTALL LAVATORY - SEE PLUMBING
 - 4 RE-INSTALL CASEWORK - FINISH END PANEL AS REQUIRED
 - 5 RE-INSTALL DOOR AND FRAME AND REFIT HARDWARE AND REQUIRE
 - 6 INFILL OR INSTALL NEW PARTITION WITH GWB EACH SIDE - SEE DETAIL D1/A1.1
 - 7 PATCH AND REFRESH EXISTING WALL
 - 8 PATCH CARPETED AREA
 - 9 INSTALL FRP TO WALLS - TO MATCH EXISTING IN OTHER EXAM ROOMS - 1/2" BAND WITH TOP AT 40" A.F.F.
 - 10 INSTALL NEW DOORS AND FRAMES
 - 11 INSTALL NEW 45 MIN. RATED DOOR AND FRAME
 - 12 INSTALL NEW DRINKING FOUNTAIN - SEE MECH.
 - 13 INSTALL NEW COUNTER TOP FOR SINK
 - 14 ALIGN FINISH GWB WITH FACE OF EXISTING GWB FINISH
 - 15 INSTALL 2068 DOOR AND FRAME FOR CLOSET
 - 16 PATCH AND FILL CONDUIT DEMOLITION PRIOR TO INSTALL NEW CARPET
 - 17 INSTALL NEW DOORS WITH REQUIRED HARDWARE FOR ELECTRONIC PRIVACY LOCKING DEVICE - SEE SPECIAL SPECIFICATION NOTE THIS SHEET.

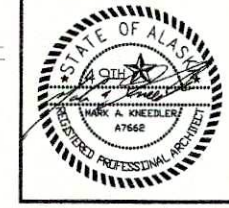


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Revisions	
No.	Description/Date
2	ULTRASOUND & BONE DENSITY 12/04

Drawn by WMA
Date 16 APRIL 2004

Checked MAK
Job No. 03062.01

Sheet Contents

PCC - I - FIRST FLOOR TENANT IMPROVEMENT

Discipline A
Sheet No. 1.1

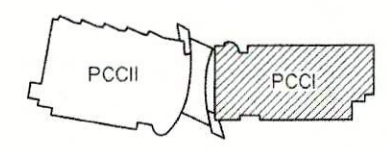
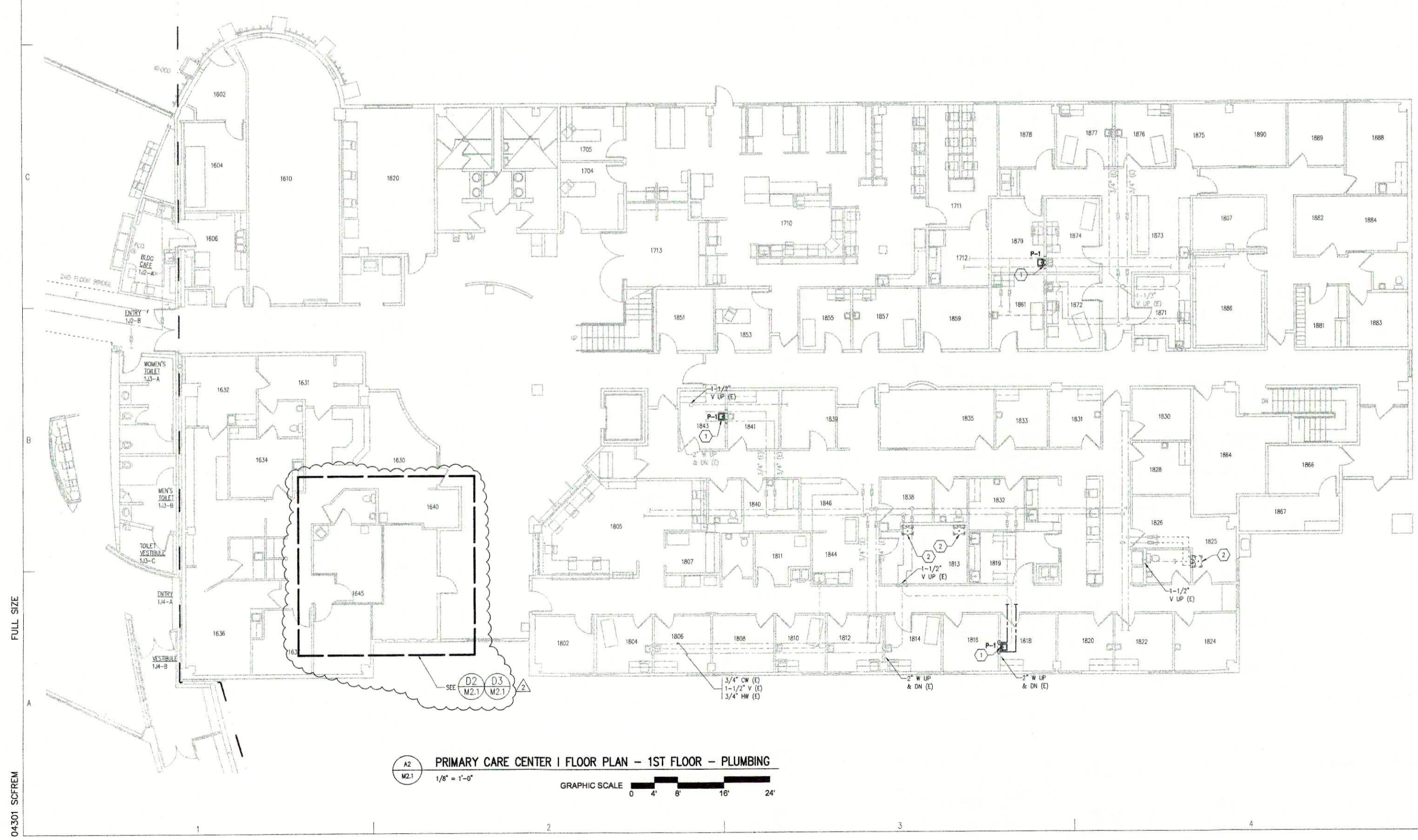
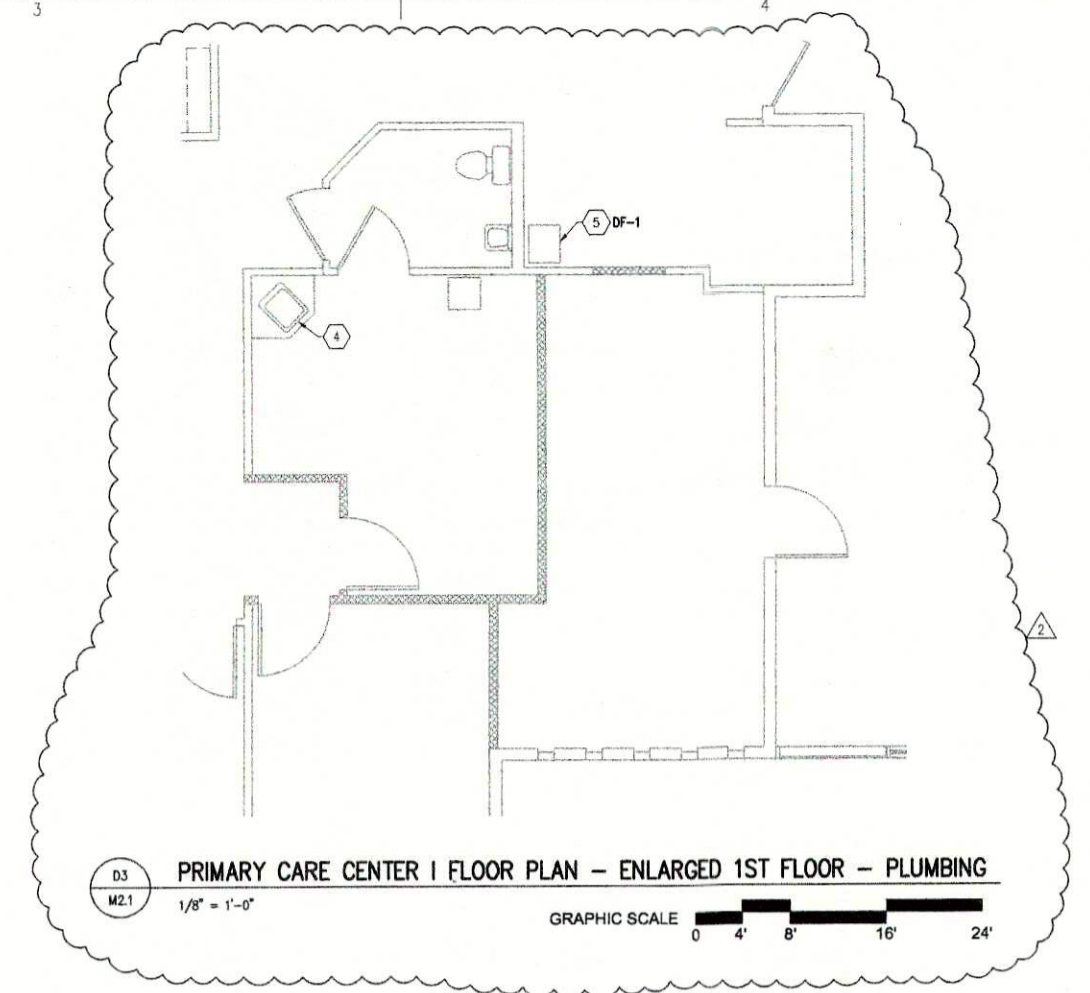
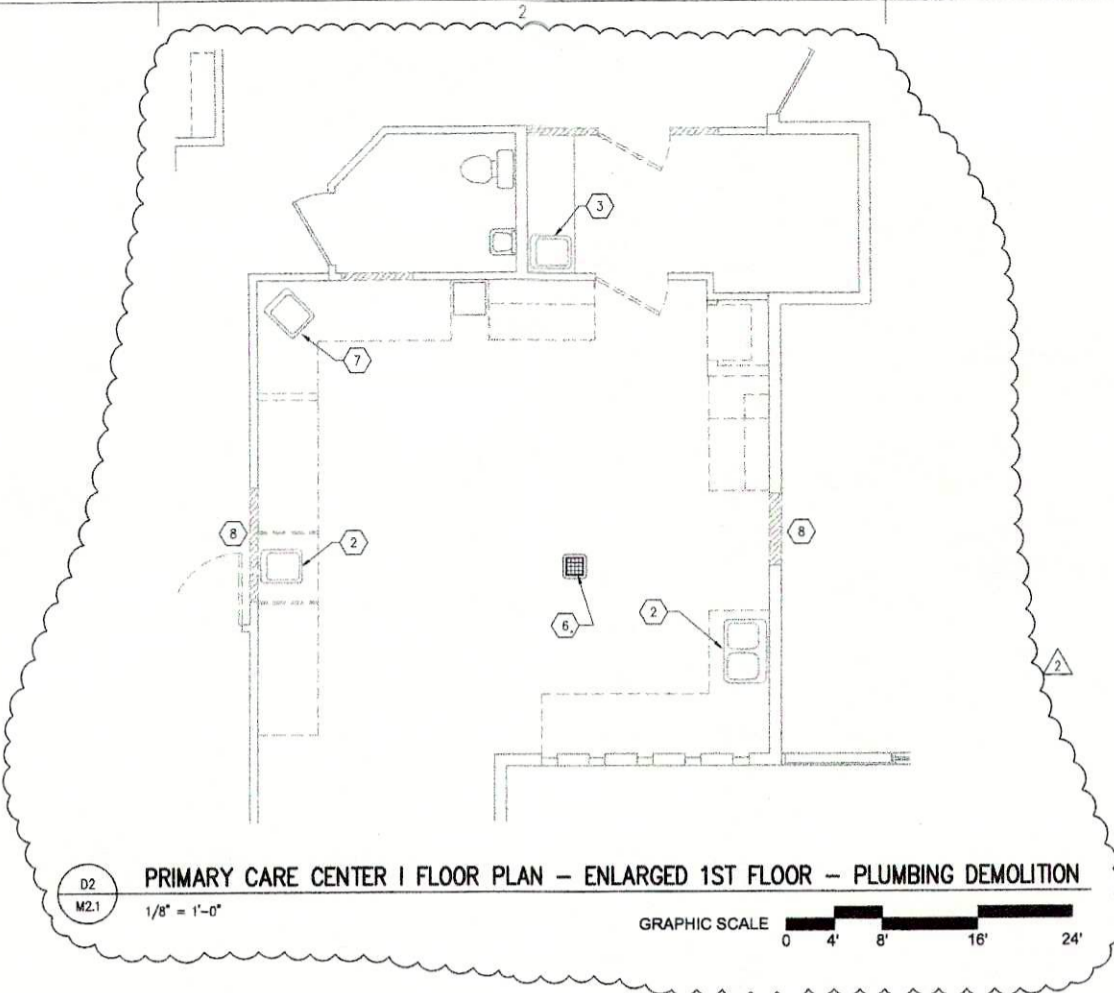


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SHEET NOTES

1. CONNECT NEW 1-1/2" W FROM P-1 TO EXISTING 2" WASTE RISER IN WALL. CONNECT TO EXISTING 1-1/2" V, 3/4" HW & 3/4" CW. MODIFY EXISTING PIPING, CARRIERS, APPURTENANCES, ETC TO PROVIDE COMPLETE AND WORKING INSTALLATION. REPAIR WALL TO MATCH EXISTING FINISHES.
2. DEMOLISH EXISTING PLUMBING FIXTURE & ASSOCIATED PIPING. CAP PIPING BEHIND FINISHED SURFACE & REPAIR WALL.
3. DEMOLISH EXISTING PLUMBING FIXTURE. ASSOCIATED PIPING TO REMAIN FOR RE-USE.
4. INSTALL EXISTING SINK.
5. FURNISH AND INSTALL DRINKING FOUNTAIN DF-1. CONNECT TO EXISTING WASTE, VENT AND CW. CAP HW BEHIND FINISHED SURFACE AND REPAIR WALL; COORDINATE WITH ARCHITECTURAL REQUIREMENTS.
6. DEMOLISH EXISTING FLOOR SINK. CAP LINES, PLUG, PATCH AND FINISH FLOOR; COORDINATE WITH ARCHITECTURAL REQUIREMENTS.
7. REMOVE EXISTING SINK AND APPURTENANCES FOR REUSE. COORDINATE WITH NEW WORK.
8. REMOVE ALL PLUMBING LINES AND FIXTURES FOR NEW WORK. REMOVE ABANDONED LINES AND CAP BACK AT MAN WHERE POSSIBLE; ELIMINATE ALL DEAD END LINES.



Revisions		
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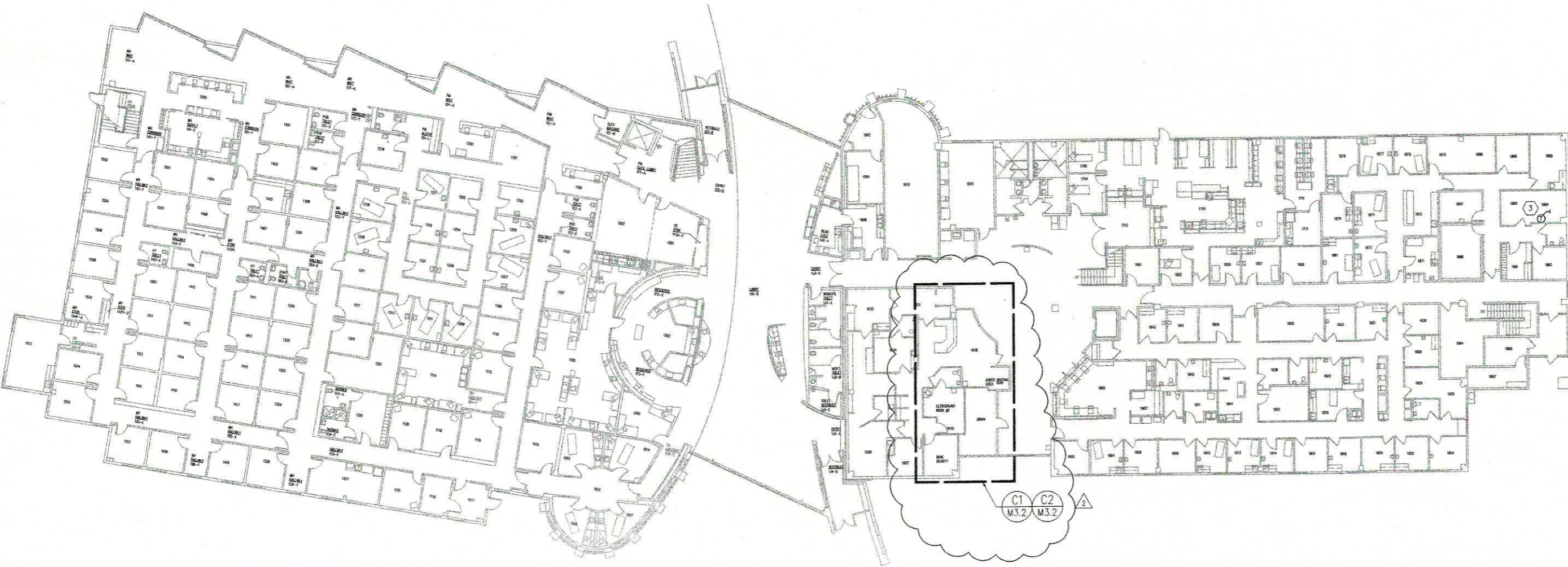
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TDG	7 MAY 2004
Checked	Job No.
MLF	04301

Sheet Contents	
PCC-I FLOOR PLAN -	
FIRST FLOOR -	
PLUMBING	

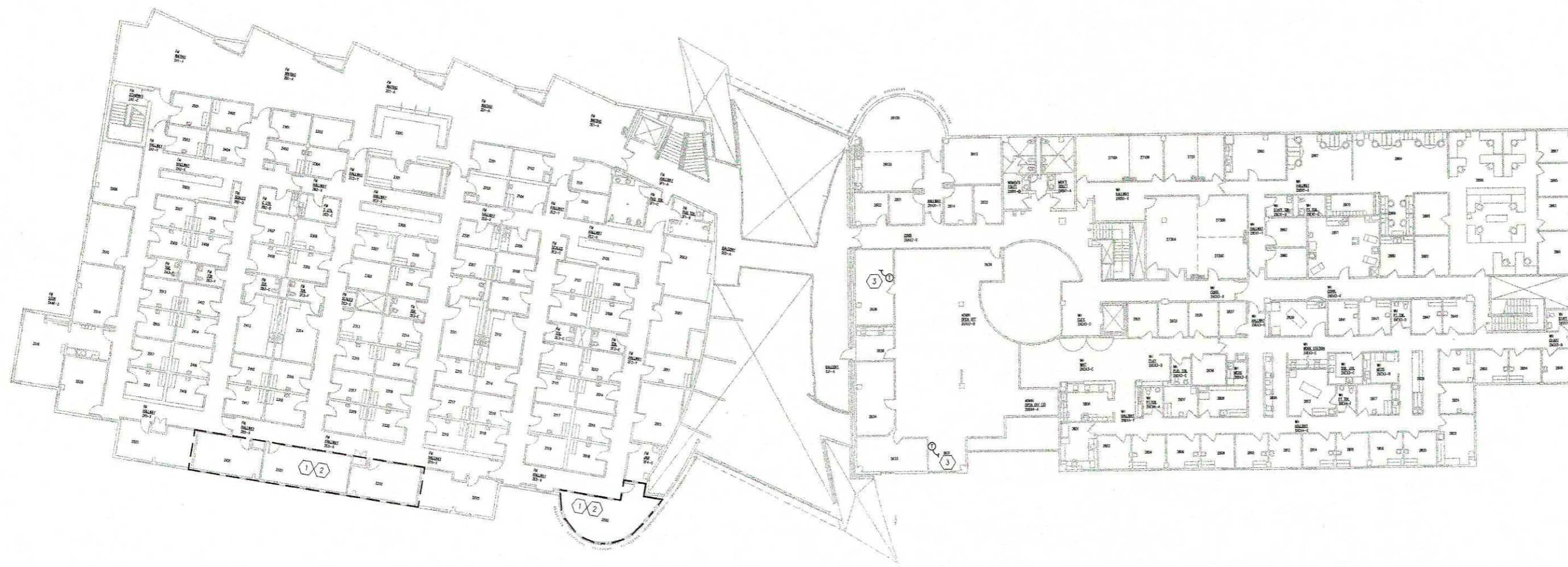
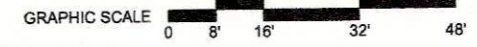
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M	2.1

04301 SCFREM

FULL SIZE



A1
M3.1 PRIMARY CARE CENTER I & II FLOOR PLAN - FIRST FLOOR - VENTILATION & FIRE PROTECTION
1/16" = 1'-0"



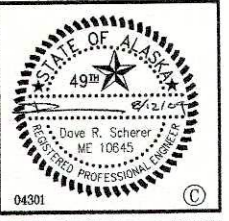
A1
M3.1 PRIMARY CARE CENTER I & II FLOOR PLAN - SECOND FLOOR - VENTILATION & FIRE PROTECTION
1/16" = 1'-0"



- SHEET NOTES**
- 1 RELOCATE DIFFUSERS AND RETURN AIR TO ACCOMMODATE NEW CEILING PLAN AND PROVIDE UNIFORM AIR DISTRIBUTION THROUGHOUT THE SPACE. COORDINATE WITH RELOCATED SPRINKLERS & LIGHTING. PROVIDE NEW FLEX DUCT. MODIFY BRANCH DUCTWORK AS REQUIRED.
 - 2 RELOCATE SPRINKLER HEADS TO ACCOMMODATE NEW CEILING PLAN. AND MAINTAIN PROPER COVERAGE PER NFPA 13.
 - 3 RELOCATE T-STAY TO ACCOMMODATE WALL DEMOLITION.

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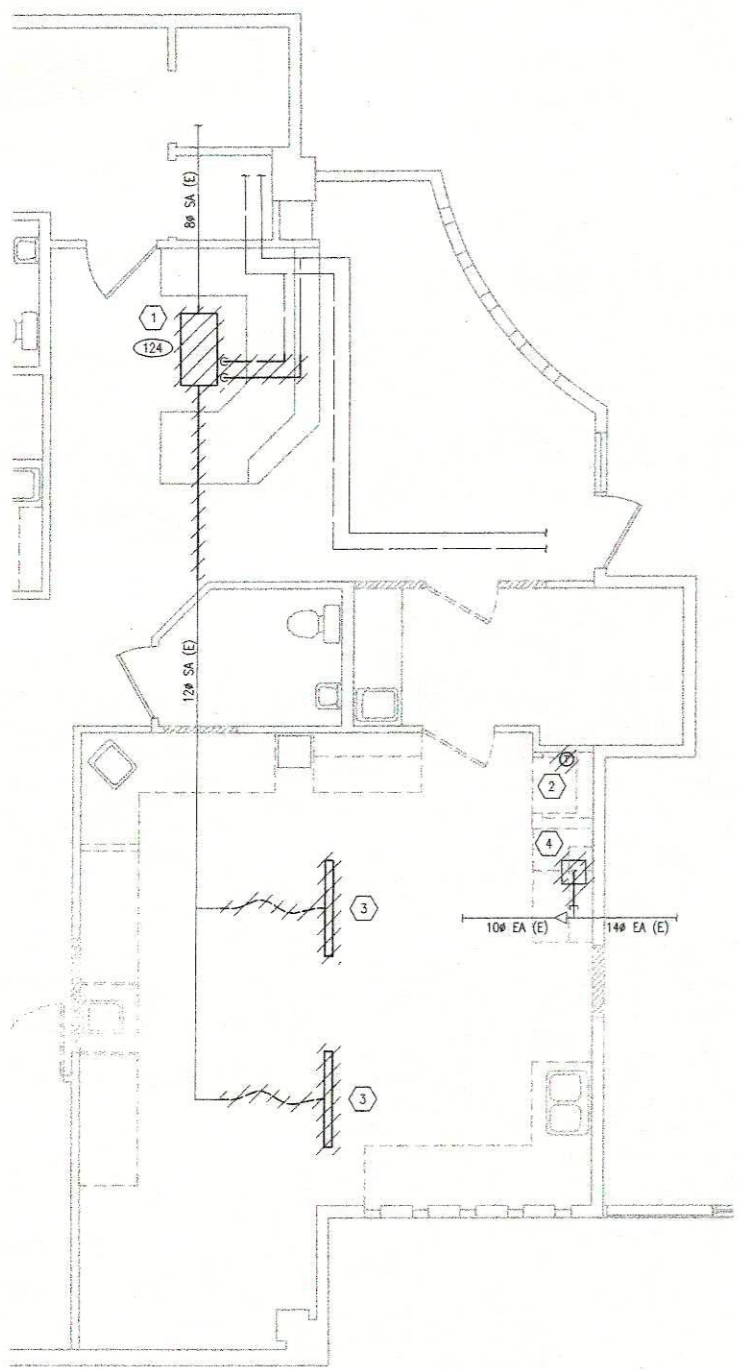
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Drawn by	Date
TDD	7 MAY 2004
Checked	Job No.
WLF	04301

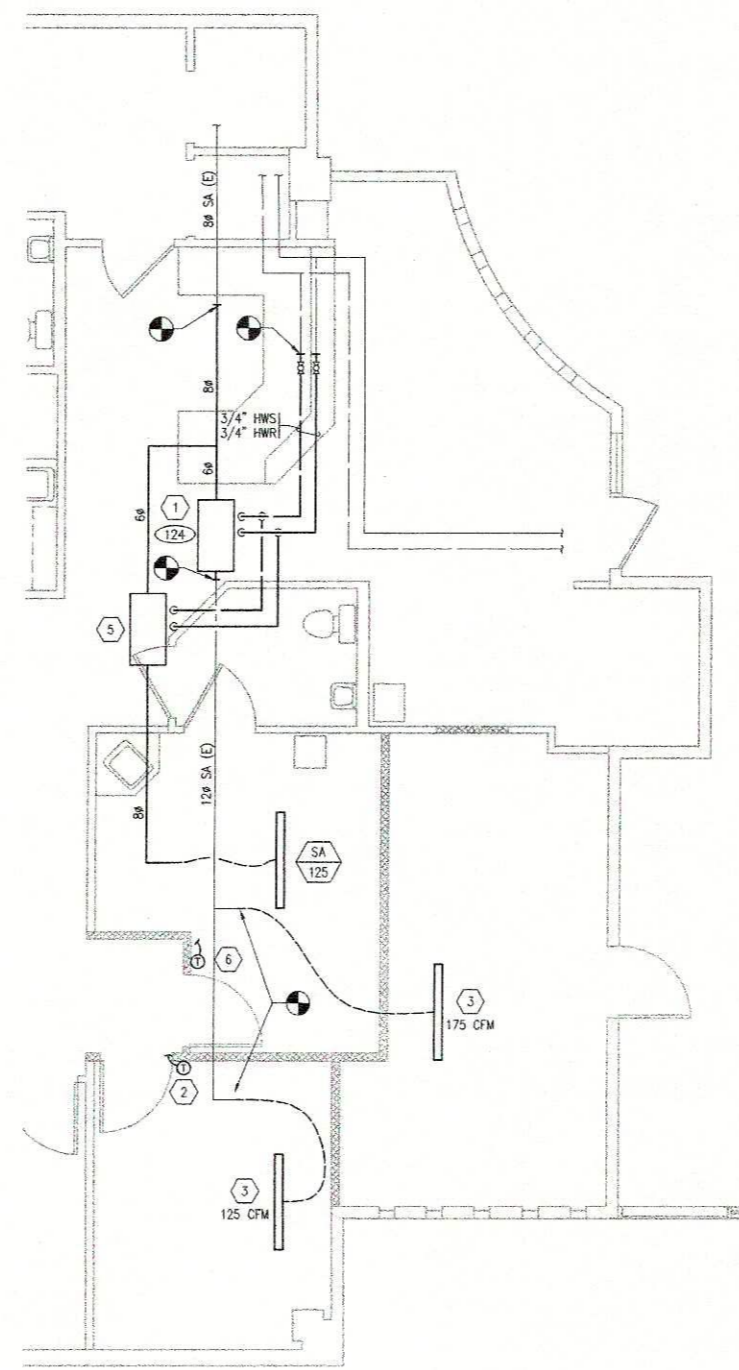
Sheet Contents
PCO-I & PCO-II
FIRST & SECOND FLOORS
VENTILATION &
FIRE PROTECTION

Discipline	Sheet No.
M	3.1

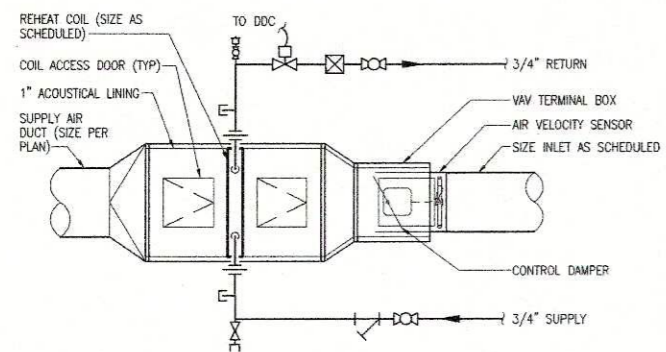
04301 SCFREM FULL SIZE



C1 PRIMARY CARE CENTER I FLOOR PLAN - ENLARGED 1ST FLOOR - VENTILATION DEMOLITION
 1/4" = 1'-0"
 GRAPHIC SCALE 0 2' 4' 8' 12'



C2 PRIMARY CARE CENTER I FLOOR PLAN - ENLARGED 1ST FLOOR - VENTILATION
 1/4" = 1'-0"
 GRAPHIC SCALE 0 2' 4' 8' 12'



NOTES
 1. HYDRONIC PIPING SHOWN OFFSET FOR CLARITY.

A1 DETAIL - VAV BOX W/ REHEAT COIL
 SCALE: NONE

SHEET NOTES

- 1 RELOCATE VAV-124.
- 2 RELOCATE T-STAT TO VAV-124.
- 3 RELOCATE AND REBALANCE DIFFUSER.
- 4 REMOVE EXHAUST GRILLE AND CAP DUCT ABOVE CEILING.
- 5 FURNISH AND INSTALL VAV TERMINAL UNIT WITH WH REHEAT COIL. SEE DETAIL A1/M3.2.
- 6 PROVIDE NEW ZONE THERMOSTAT FOR VAV BOX AND DDC CONTROL SEQUENCE.

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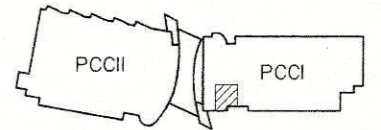
Revisions

No.	Description	Date
1	ADD SHEET	08/12/04

Drawn by Date
 TDJ 7 MAY 2004

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 WLF 04301

Sheet Contents
 PCC-I FLOOR PLAN -
 ENLARGED 1ST FLOOR -
 VENTILATION &
 FIRE PROTECTION



Discipline Sheet No.
 M 3.2

04-301 SCFREM

ELECTRICAL SERVICE CALCULATION

ELECTRICAL:
Receptacles have been relocated or replaced with no net change in quantity or load.
Light fixtures have been relocated or replaced with a net reduction in load.

MECHANICAL:
No additional motor loads have been added.

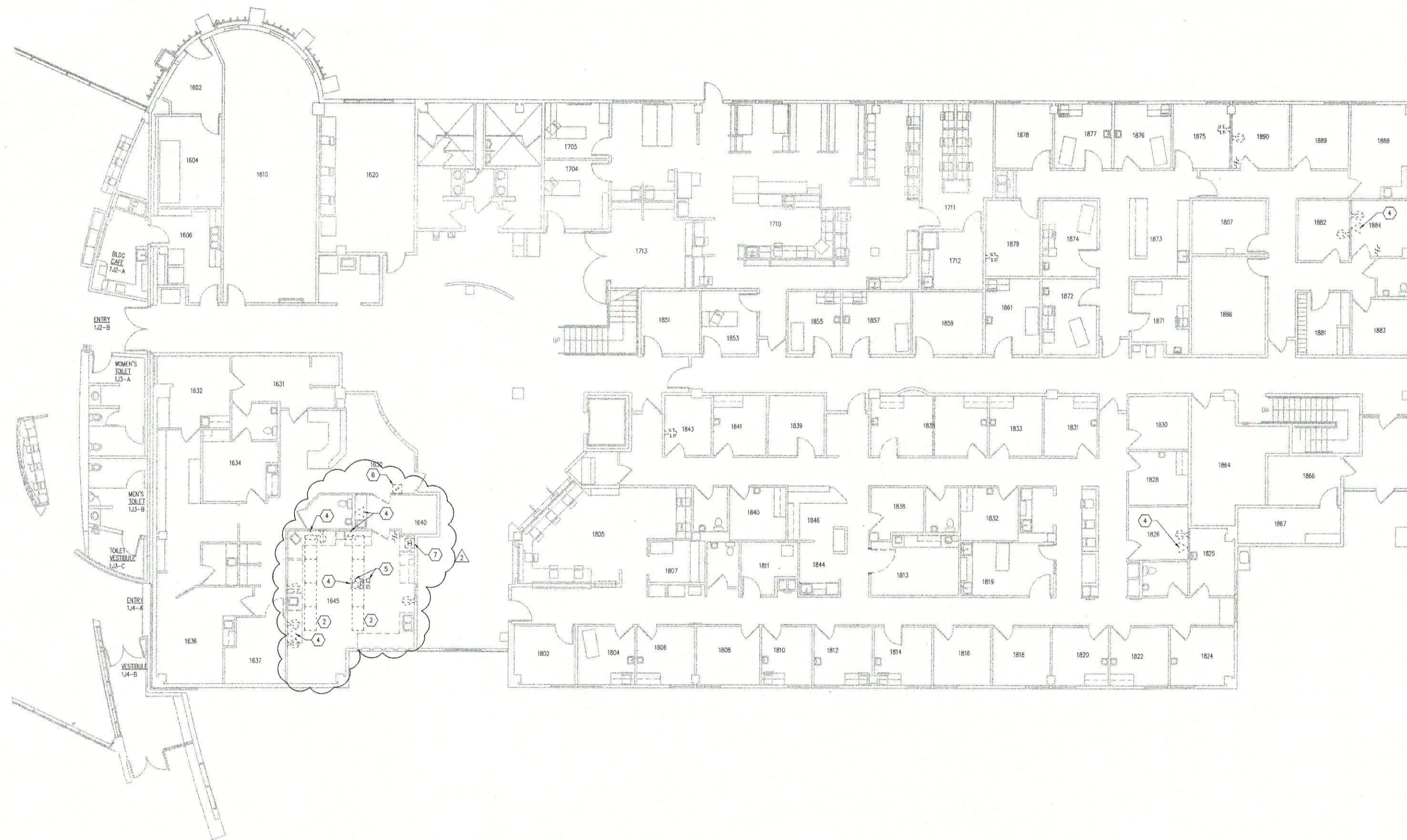
LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⊖	FLUORESCENT LIGHT FIXTURE	⊖	TAMPER RESISTANT DUPLEX RECEPTACLE, 20 AMP, HOSP. GRADE
⊖	INC. FLUORESCENT OR HID LIG. FIXTURE, RECESSED MOUNTED	⊖	VOLUME CONTROL
⊖	INC. FLUORESCENT OR HID LIG. FIXTURE, WALL MOUNTED	⊖	REFERENCED NOTE ON DRAWING
⊖	CEILING MOUNTED EXIT FIXTURE (FIXTURE TYPE EX), ARROWS AS NOTED	⊖	GENERAL NOTE ON DRAWING
⊖	WALL MOUNTED EXIT FIXTURE (FIXTURE TYPE EX), ARROWS AS NOTED	⊖	EQUIPMENT LIST OVALS
⊖	SINGLE POLE SWITCH, +48" A.F.F.	⊖	ABOVE FINISHED FLOOR
⊖	THREE-WAY SWITCH, +48" A.F.F.	⊖	ABOVE FINISHED GRADE
⊖	SWITCH FOR FIXTURES MARKED 'Q', +48" A.F.F.	⊖	AUTHORITY HAVING JURISDICTION
⊖	FIRE ALARM HORN/STROBE	⊖	CIRCUIT
⊖	DUPLEX RECEPTACLE, 20 AMP, +16" A.F.F., HOSP. GRADE	⊖	C.O. CONDUIT ONLY
⊖	GROUNDING FAULT INTERRUPTER, DUPLEX RECEPTACLE, 20 AMP, HOSP. GRADE	⊖	(E) EXISTING
⊖	DOUBLE DUPLEX RECEPTACLE, 20 AMP, HOSP. GRADE	⊖	FACP FIRE ALARM CONTROL PANEL
⊖	JUNCTION BOX AND/OR CONNECTION TO EQUIPMENT	⊖	FAA FIRE ALARM ANNUNCIATOR
⊖	TELECOMMUNICATION OUTLET - X DENOTES # OF PORTS IN OUTLET	⊖	PSD FIRE/SMOKE DAMPER
⊖	LINE CONVENTION = EXISTING ITEM TO REMAIN	⊖	IAW IN ACCORDANCE WITH
⊖	LINE CONVENTION = ITEM TO BE DEMOLISHED	⊖	IDF INTERMEDIATE DISTRIBUTION FRAME
⊖	LINE CONVENTION = NEW OR REINSTALLED ITEM	⊖	J.B. JUNCTION BOX
⊖	CONCEALED CIRCUIT	⊖	MDF MAIN DISTRIBUTION FRAME
⊖	CONCEALED CIRCUIT IN FLOOR OR UNDERGROUND	⊖	NEC NATIONAL ELECTRICAL CODE
⊖	EXPOSED CIRCUIT	⊖	NFPA NATIONAL FIRE PROTECTION ASSOCIATION
⊖	FLEXIBLE CONDUIT CONNECTION	⊖	OFCI OWNER FURNISHED, OWNER INSTALLED
⊖	BRANCH CIRCUIT HOMERUN TO PANELBOARD - No. OF ARROWS INDICATE No. OF CIRCUITS; PANEL & CIRCUIT No.'S AS INDICATED. SLASHES INDICATE No. OF WIRES IF MORE THAN TWO.	⊖	TELECOM TELECOMMUNICATION
⊖	NUMBER OF CONDUCTORS IN RACEWAY (NOT COUNTING GROUNDING CONDUCTORS) ABSENCE OF MARKS INDICATES TWO CONDUCTORS, PLUS ANY REQUIRED GROUNDS.	⊖	TR TELECOMMUNICATION ROOM
⊖	GROUNDING CONDUCTOR	⊖	UNL UNLESS OTHERWISE NOTED
⊖		⊖	WDR WEATHERPROOF

NOTE: THIS IS A STANDARD LEGEND. SOME OF THE SYMBOLS SHOWN ON LEGEND ARE NOT NECESSARILY ON THE DRAWINGS.

SHEET NOTES

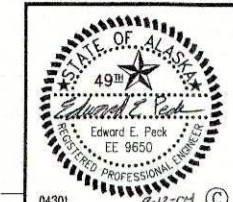
- REMOVE LIGHT SWITCHES INDICATED. REUSE EXISTING CIRCUITS FOR EXISTING LIGHT FIXTURES. SEE LIGHTING PLAN, E2.1.
- RELOCATE LIGHT FIXTURES, SEE LIGHTING PLAN, E2.1.
- REMOVE RECEPTACLES INDICATED. REWORK EXISTING CONDUIT AND WIRING AS REQUIRED TO MAINTAIN DEVICES AND SERVE NEW RECEPTACLES, SEE POWER PLAN, E2.4.
- PULL DATA CABLING BACK TO CABLE TRAY AND RELOCATE EXISTING DATA JACKS TO LOCATIONS SHOWN ON PLANS, SEE POWER AND SPECIAL SYSTEMS PLAN, E2.4.
- DEMOLISH EXISTING DEVICES SHOWN. DEMOLISH WIRING BACK TO SOURCE AND CUT CONDUIT AT FLOOR. COORDINATE WITH OTHER TRADES TO GROUT AREA AS NEEDED FOR FLOORING INSTALLATION.
- RELOCATE EXISTING DOOR OPERATOR SWITCH TO LOCATION SHOWN ON E2.4.
- RELOCATE EXISTING FIRE ALARM HORN/STROBE NOTIFICATION APPLIANCE TO LOCATION SHOWN ON SEE E2.4.



PCC-1 DEMOLITION PLAN - FIRST FLOOR - ELECTRICAL
1/8" = 1'-0"
GRAPHIC SCALE 0 4' 8' 16' 24'



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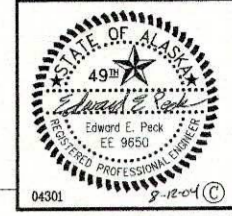
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EPP	04301

Sheet Contents
PCC-1 DEMOLITION PLAN -
FIRST FLOOR -
ELECTRICAL

Discipline	Sheet No.
E	1.1

04301 - SOFREM



- SHEET NOTES**
- 1 LIGHTING IS SHOWN EXISTING TO REMAIN AND IS FOR REFERENCE ONLY. NO LIGHTING WORK IN THIS ROOM.
 - 2 CONNECT LIGHT FIXTURES TO LOCAL LIGHTING CIRCUIT AND CONTROL VIA EXISTING OR NEW SWITCH(ES) AS SHOWN.
 - 3 RELOCATE EXISTING (3)F3278 LIGHT FIXTURES. REUSE EXISTING LIGHTING CIRCUITS AND CONNECT TO LOCAL LIGHT SWITCHES INDICATED.
 - 4 RELABEL PANELBOARD CIRCUIT DIRECTORIES TO REFLECT ROOM NUMBER CHANGES.
 - 5 CONNECT LIGHTING FOR THIS ROOM THROUGH EXISTING OCCUPANCY SENSOR WITH WALL SWITCH PROVIDING OVERRIDE 'OFF' FUNCTION.
 - 6 CONNECT LIGHTING IN THIS ROOM VIA LOCAL LIGHT SWITCH ONLY.
 - 7 PROVIDE 8" RECESSED INCANDESCENT LIGHTING FIXTURE WITH BLACK BAFFLE. LITHONIA® A-8-MB-173 WITH 150W A21 LAMP OR APPROVED EQUIVALENT.
 - 8 CONNECT LIGHTING FIXTURES SHOWN IN THIS ROOM TO ROOM LIGHTING CIRCUIT SO THAT ALL OF THE FIXTURES IN ROOM 1630 ARE CONTROLLED TOGETHER.
 - 9 EXTEND EXISTING RECEPTACLE CIRCUIT AND CONNECT INCANDESCENT LIGHT VIA DIMMER SWITCH.

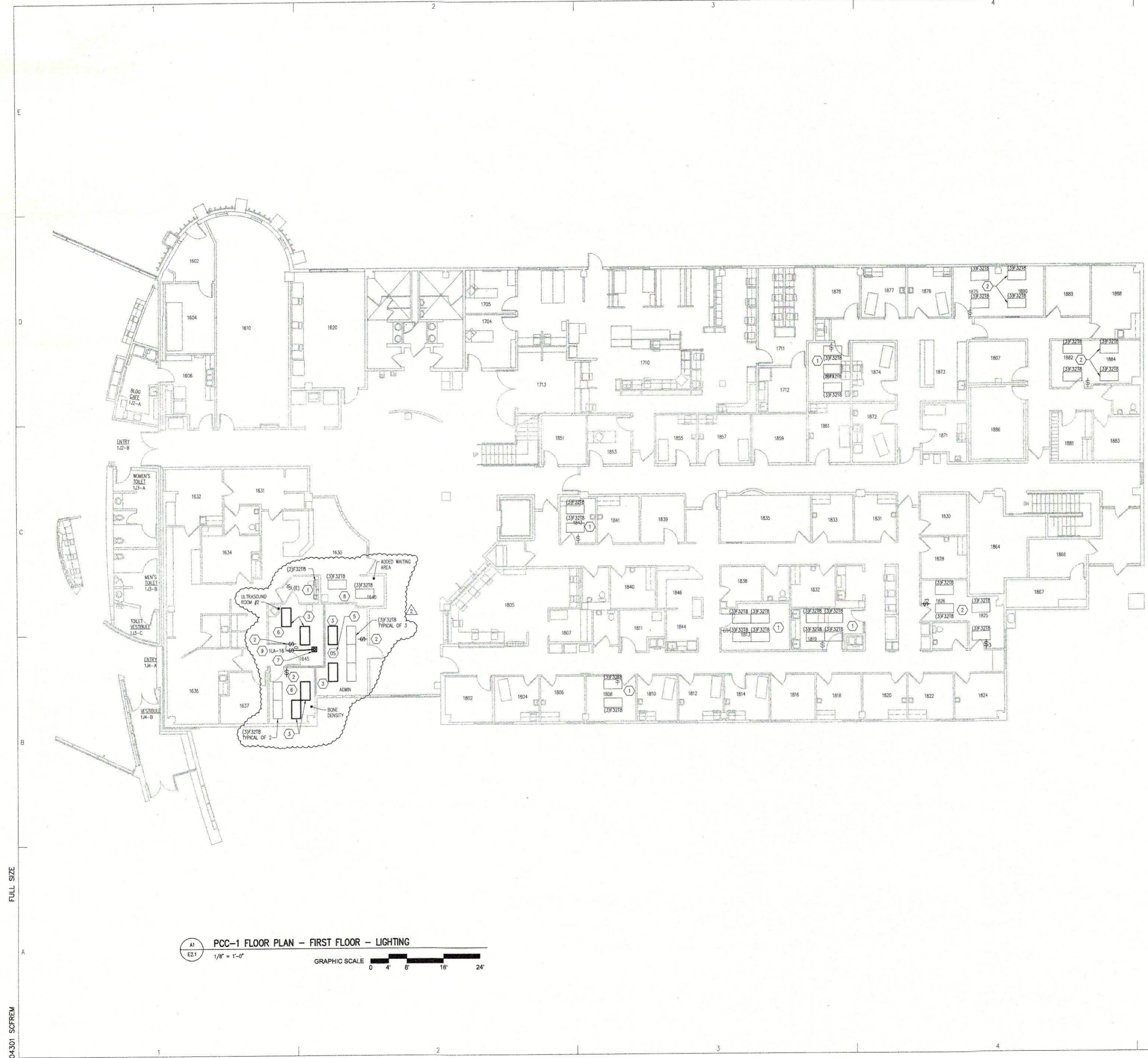
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Revisions		
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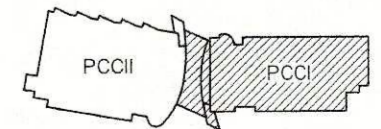
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TDD	7 MAY 2004
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Sheet Contents
 PCC-1 FLOOR PLAN -
 FIRST FLOOR -
 LIGHTING

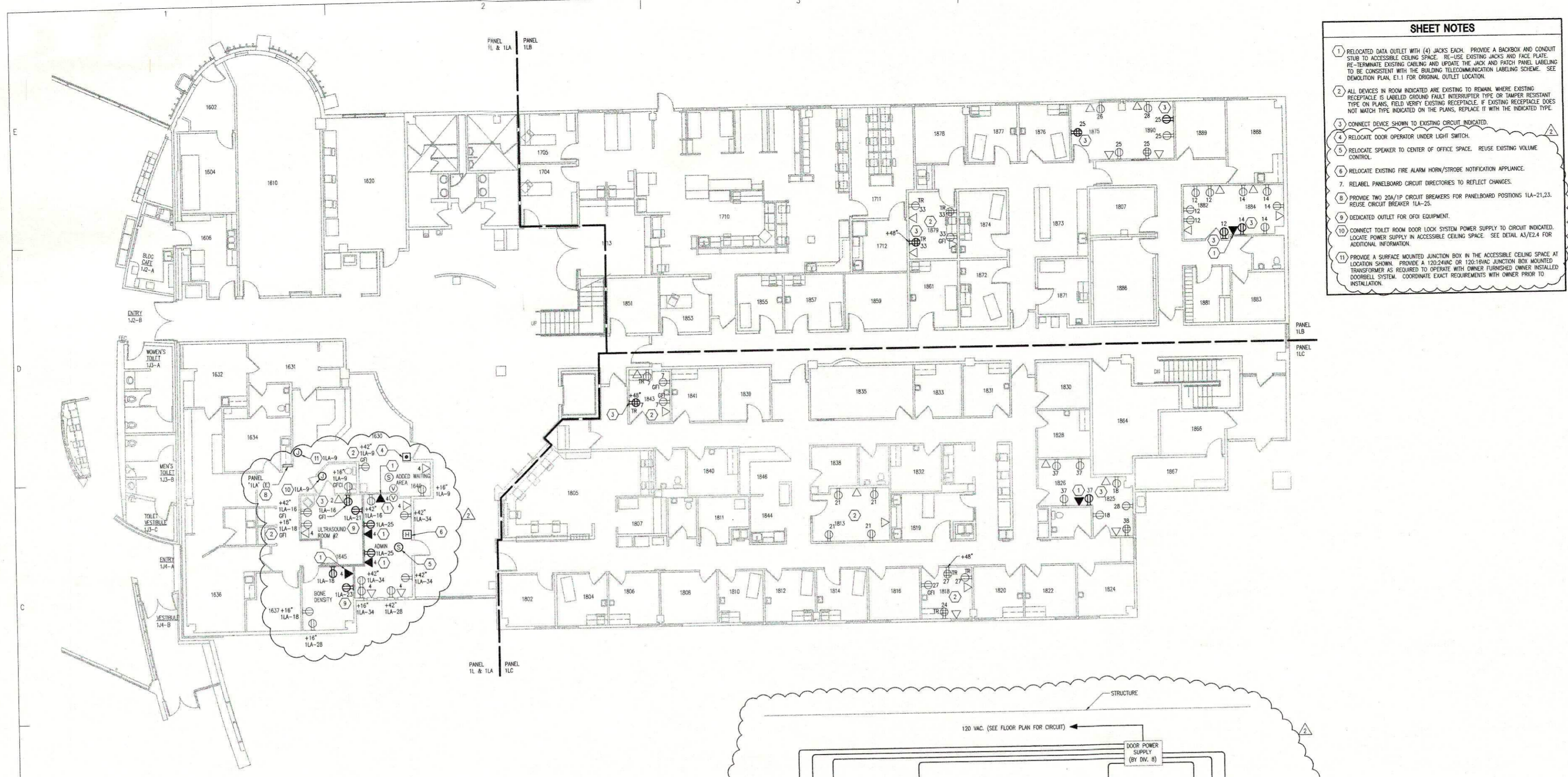
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E	2.1



PCC-1 FLOOR PLAN - FIRST FLOOR - LIGHTING
 1/8" = 1'-0"
 GRAPHIC SCALE 0 4' 8' 16' 24'

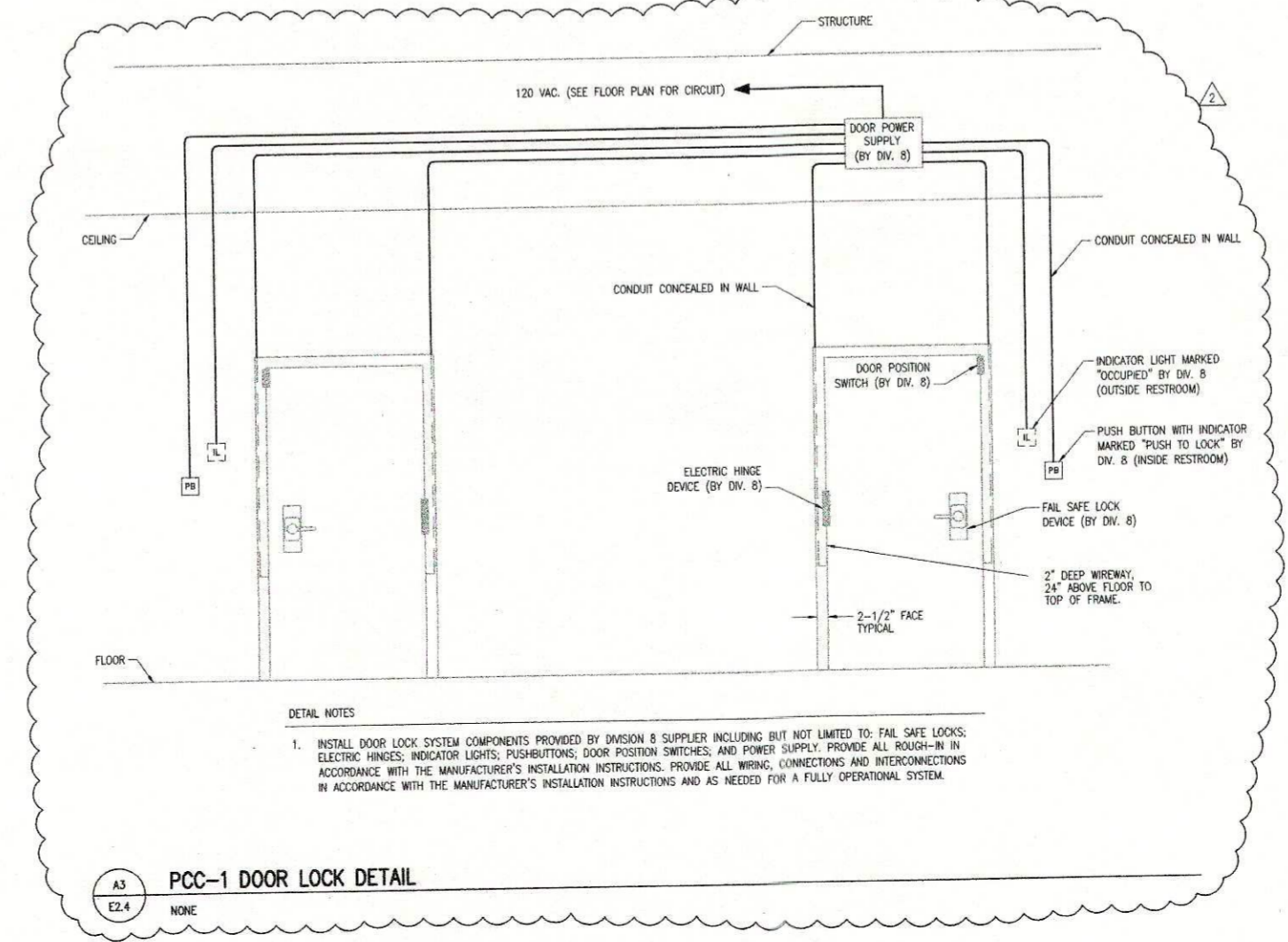


FULL SIZE
04301 SCFREM



- SHEET NOTES**
1. RELOCATED DATA OUTLET WITH (4) JACKS EACH. PROVIDE A BACKBOX AND CONDUIT STUB TO ACCESSIBLE CEILING SPACE. RE-USE EXISTING JACKS AND FACE PLATE. RE-TERMINE EXISTING CABLES AND UPDATE THE JACK AND PATCH PANEL LABELING TO BE CONSISTENT WITH THE BUILDING TELECOMMUNICATION LABELING SCHEME. SEE DEMOLITION PLAN E-1.1 FOR ORIGINAL OUTLET LOCATION.
 2. ALL DEVICES IN ROOM INDICATED ARE EXISTING TO REMAIN WHERE EXISTING RECEPTACLE IS UNLabeled GROUND FAULT INTERRUPTER TYPE OR TAMPER RESISTANT TYPE ON PLANS. FIELD VERIFY EXISTING RECEPTACLE. IF EXISTING RECEPTACLE DOES NOT MATCH TYPE INDICATED ON THE PLANS, REPLACE IT WITH THE INDICATED TYPE.
 3. CONNECT DEVICE SHOWN TO EXISTING CIRCUIT INDICATED.
 4. RELOCATE DOOR OPERATOR UNDER LIGHT SWITCH.
 5. RELOCATE SPEAKER TO CENTER OF OFFICE SPACE. REUSE EXISTING VOLUME CONTROL.
 6. RELOCATE EXISTING FIRE ALARM HORN/STROBE NOTIFICATION APPLIANCE.
 7. RELABEL PANELBOARD CIRCUIT DIRECTORIES TO REFLECT CHANGES.
 8. PROVIDE TWO 20A/1P CIRCUIT BREAKERS FOR PANELBOARD POSITIONS 11A-21,23. REUSE CIRCUIT BREAKER 11A-25.
 9. DEDICATED OUTLET FOR OPI EQUIPMENT.
 10. CONNECT TOILET ROOM DOOR LOCK SYSTEM POWER SUPPLY TO CIRCUIT INDICATED. COORDINATE POWER SUPPLY IN ACCESSIBLE CEILING SPACE. SEE DETAIL A3/E2.4 FOR ADDITIONAL INFORMATION.
 11. PROVIDE A SURFACE MOUNTED JUNCTION BOX IN THE ACCESSIBLE CEILING SPACE AT LOCATION SHOWN. PROVIDE A 120V/20AMP OR 120V/30AMP JUNCTION BOX MOUNTED TRANSFORMER AS REQUIRED TO OPERATE WITH OWNER FURNISHED OWNER INSTALLED DOORBELL SYSTEM. COORDINATE EXACT REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION.

PCC-1 FLOOR PLAN - FIRST FLOOR - POWER AND SPECIAL SYSTEMS
 1/8" = 1'-0"
 GRAPHIC SCALE 0' 4' 8' 16' 24'



DETAIL NOTES

1. INSTALL DOOR LOCK SYSTEM COMPONENTS PROVIDED BY DAVIDSON 8 SUPPLIER INCLUDING BUT NOT LIMITED TO: FAIL SAFE LOCKS, ELECTRIC HINGES, INDICATOR LIGHTS, PUSHBUTTONS, DOOR POSITION SWITCHES AND POWER SUPPLY. PROVIDE ALL WIRING IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE ALL WIRING, CONNECTIONS AND INTERCONNECTIONS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND AS NEEDED FOR A FULLY OPERATIONAL SYSTEM.

Architects Alaska
Klauder and Co.
 Associated Architects
 900 West Fifth Avenue
 Anchorage, Alaska 99501
 400 International Blvd.
 Anchorage, Alaska 99511
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Southcentral Foundation
Primary Care Centers I & II
Tenant Improvements
 Anchorage, Alaska

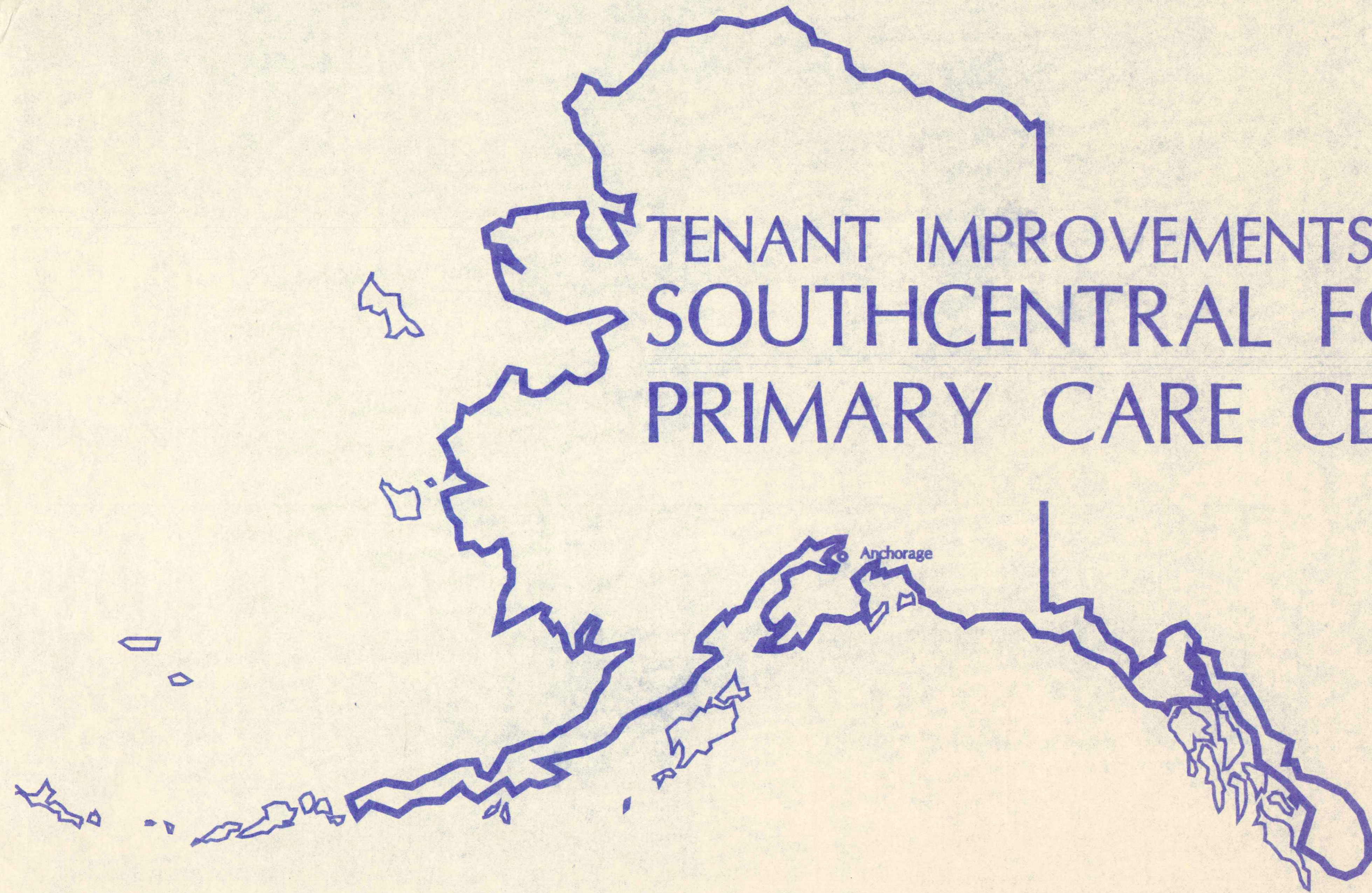
Revisions

No.	Description	Date
1	ADD 1A, 1B, 1C, 1D, 1E, 1F, 1G, 1H, 1I, 1J, 1K, 1L, 1M, 1N, 1O, 1P, 1Q, 1R, 1S, 1T, 1U, 1V, 1W, 1X, 1Y, 1Z	06/22/04

Drawn by	Date
TDD	7 MAY 2004
Checked	Job No.
REP	04301

Sheet Contents
 PCC-1 FLOOR PLAN -
 FIRST FLOOR -
 POWER AND SPECIAL SYSTEMS

Discipline	Sheet No.
E	2.4



TENANT IMPROVEMENTS FOR
SOUTHCENTRAL FOUNDATION
PRIMARY CARE CENTER

Architect: Koonce Pfeffer, Inc.

Date: October 1, 1997

K O O N C E P F E F F E R
P R I M A R Y C A R E C E N T E R

F I N A L P R I N T I N G

PARTITION LEGEND

EXISTING WALLS TO REMAIN

NEW WALLS

FULL HEIGHT WALL TO UNDERSIDE OF CEILING. FRAMED W/ 3 5/8" MIL STUDS @ 16" O.C. WITH (1) LAYER 5/8" TYPE "X" GIB EA. SIDE

CODE INFORMATION

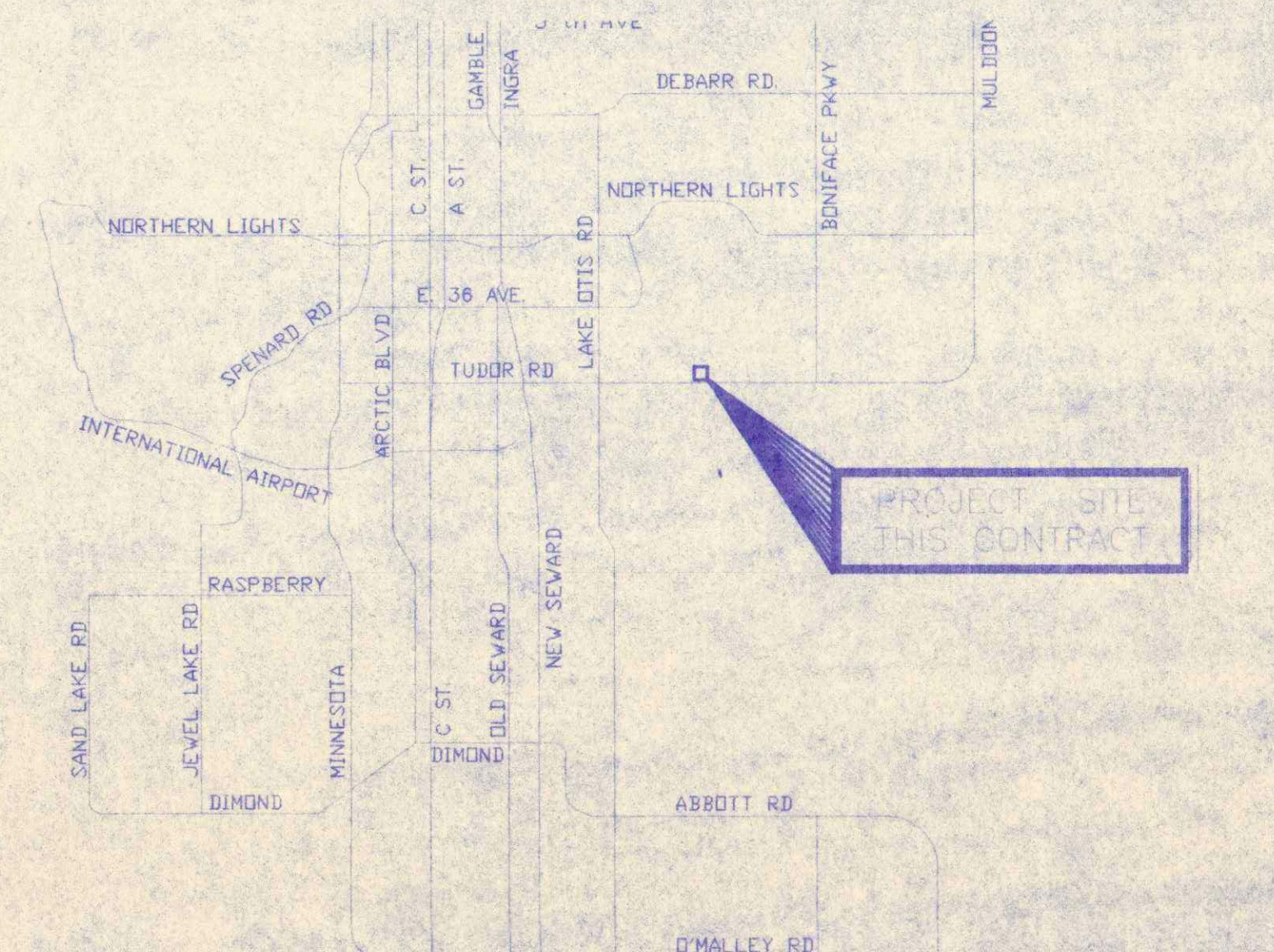
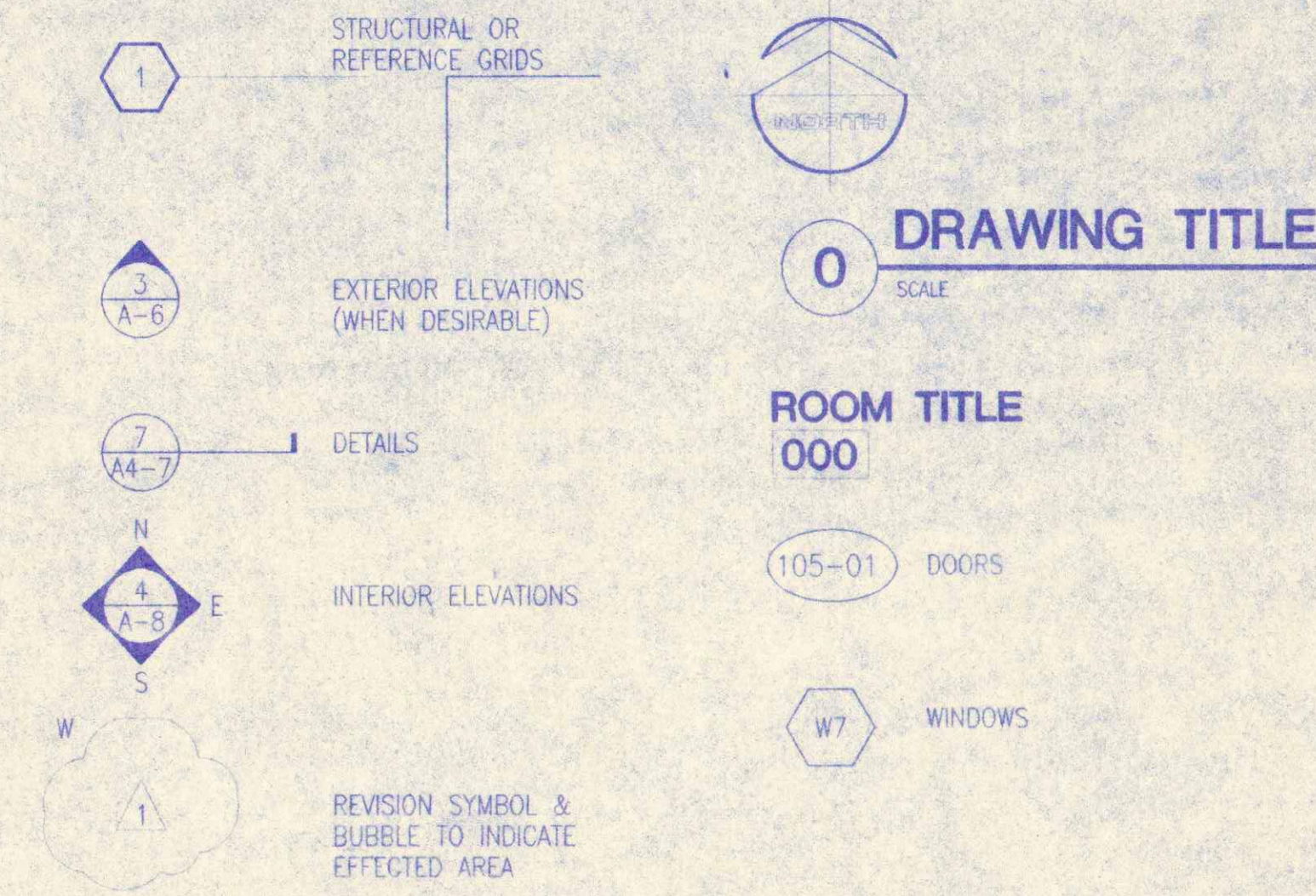
OCCUPANCY GROUP: B

TYPE OF CONSTRUCTION: TYPE II-N

AREA OF REMODEL: 1,648 SQ. FT.

BUILDING IS FULLY SPRINKLERED

SYMBOLS LEGEND



PROJECT DESCRIPTION

THE PROJECT CONSISTS OF (BUT IS NOT LIMITED TO): DIVIDING AN EXISTING OPEN OFFICE TENANT SPACE INTO (3) CONFERENCE ROOMS AND (2) OFFICES BY CONSTRUCTING WALLS, CASEWORK, FINISH WORK, POWER, LIGHTING AND HVAC UPGRADES AS NOTED ON DRAWINGS.

GENERAL NOTES

- CONTRACTOR'S WORK SHALL INCLUDE, BUT IS NOT NECESSARILY LIMITED TO THE FOLLOWING:
 - DEMOLITION:
 - REMOVAL FROM PREMISES OF ALL MATERIALS IN AREAS THAT REQUIRE DEMOLITION, INCLUDING METAL STUDS, G.I.C., WIRING, ELECTRICAL AND MECHANICAL.
 - CONTRACTOR TO MAINTAIN DUST BARRIER OF 6-MIL POLYETHYLENE AROUND PERIMETER OF WORK AREAS DURING DEMOLITION PHASE. DUST PROTECTION OF ADJACENT OCCUPIED SPACES IS MANDATORY AT ALL TIMES. CAP OFF RETURN AIR DUCTS, AND PROTECTION OF ALL EXISTING FIXTURES, EQUIPMENT AND STORED ITEMS.
 - NEW WORK:
 - INSTALLATION OF ALL NEW PARTITIONS, DOORS, CASEWORK, FINISHES, ELECTRICAL & MECHANICAL WORK, AS SHOWN ON THE CONTRACT DOCUMENTS.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY OWNERS REPRESENTATIVE OF DISCREPANCIES IN DIMENSIONS BETWEEN EXISTING STRUCTURE & NEW CONSTRUCTION, PRIOR TO COMMENCING WITH ANY PHASE OF THE WORK.
- CONTRACTOR TO VERIFY DIMENSIONS, REQUIRED CLEARANCES & POWER REQUIREMENTS OF ALL OWNER-SUPPLIED & P.L.C. ITEMS & NOTIFY OWNERS REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES IN THE CONTRACT DOCUMENTS PRIOR TO COMMENCING WITH ANY PHASE OF THE WORK.
- THE CONTRACTOR SHALL, TO THE GREATEST EXTENT POSSIBLE, SCHEDULE DEMOLITION & NEW WORK AT TIMES & LOCATIONS TO ALLOW FOR A MINIMUM DISRUPTION OF NORMAL BUSINESS ACTIVITY. CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE WITH OWNER'S REPRESENTATIVE. SCHEDULE POWER OUTAGES OUTSIDE OF BUSINESS HOURS WHENEVER POSSIBLE.
- ALL DIMENSIONS ARE TAKEN TO FACE OF STUD OR CENTER LINE OF COLUMN AT NEW CONSTRUCTION, AND FACE OF FINISH AT EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE. NEW CONSTRUCTION WITHOUT DIMENSIONS IS TO BE LOCATED BY VISUAL ALIGNMENT WITH EXISTING CONSTRUCTION AS SHOWN.
- ALL WORK COMPLETED BY THE GENERAL CONTRACTOR AND HIS EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING CODES AND AMENDMENTS AS ADOPTED BY THE MUNICIPALITY OF ANCHORAGE.
 - IF RELOCATION OF SPRINKLER HEADS IS REQUIRED, COMPLY WITH THE FOLLOWING:
 - MODIFY EXISTING SYSTEM OF FIRE PROTECTION, COMPLETE IN EVERY DETAIL & IN PERFECT OPERATING ORDER, IN ACCORDANCE WITH THE APPLICABLE CODES & STANDARDS TO PROTECT ALL AREAS REVISED & ADDED BY THIS PROJECT. WORK INCLUDES INSTALLATION AND/OR RELOCATION OF SPRINKLER HEADS AS REQUIRED. REVISIONS TO EXISTING SYSTEM SHALL BE PROVIDED IN ACCORDANCE WITH NFPA CODE PERTAINING TO SPRINKLER SYSTEMS.
 - LOCATION OF EXISTING SPRINKLER HEADS ARE SHOWN ON DRAWINGS.
 - FURNISH THE SERVICES OF A QUALIFIED & APPROVED FIRE PROTECTION SUBCONTRACTOR FIRM WHOSE PRIMARY BUSINESS IS MANUFACTURING AND/OR INSTALLATION OF FIRE PROTECTION SYSTEMS TO PROVIDE THE WORK.
 - SUBCONTRACTOR MINIMUM QUALIFICATIONS INCLUDE:
 - MAINTAIN A COMPLETE & PERMANENT ENGINEERING, SALES, INSTALLATION & SERVICE ORGANIZATION WITHIN ALASKA FOR AT LEAST THREE YEARS PRIOR TO COMMENCEMENT OF WORK ON THIS PROJECT.
 - DEMONSTRATE THE TECHNICAL QUALIFICATIONS OF THE SPRINKLER ENGINEER.
 - MAINTAIN A COMPLETE STOCK OF REPLACEMENT PARTS.
 - REMAIN ON 24-HR. CALL FOR EMERGENCY SERVICE.
- GENERAL CONTRACTOR SHALL PROTECT FIRE RESISTIVE INTEGRITY OF THE BUILDING FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- THE ORGANIZATION OF THESE DRAWINGS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG SUB-CONTRACTORS. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

INDEX OF DRAWINGS

ARCHITECTURAL :

COVER SHEET	
G1	INDEX SHEET, CODE INFO, LEGENDS
A1	FLOOR PLAN, REFLECTED CEILING PLAN AND SCHEDULES
A2	DETAILS AND ELEVATIONS

MECHANICAL:

ALL MECHANICAL WORK IS TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. IT IS ASSUMED THAT THE PROPOSED ARCHITECTURAL DESIGN IS UTILIZING EXISTING SYSTEMS THAT ARE IN PLACE AND THAT THE NEW CONFIGURATION OF THOSE EXISTING SYSTEMS IS SHOWN ON THE DRAWINGS. ALL WORK MUST MEET THE REQUIREMENTS OF THE MOA BUILDING SAFETY DEPARTMENT AND UBO MECHANICAL CODE.

ELECTRICAL:

ALL ELECTRICAL WORK IS TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. IT IS ASSUMED THAT THE PROPOSED ARCHITECTURAL DESIGN IS UTILIZING EXISTING SYSTEMS THAT ARE IN PLACE AND THAT THE NEW CONFIGURATION OF THOSE EXISTING SYSTEMS IS SHOWN ON THE DRAWINGS. ALL WORK MUST MEET THE REQUIREMENTS OF THE MOA BUILDING SAFETY DEPARTMENT AND NEC.

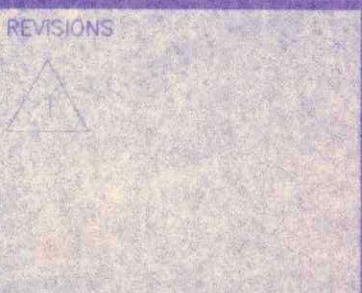
ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	C.T.	CERAMIC TILE	EA	EACH	FIG	FIGURE	H.M.	HOLLOW METAL	MIN	MINIMUM	PR	PAIR	S.S.	SANITARY SEWER	T.O.	TOP OF
ACOUS	ACOUSTICAL	COL	COLUMN	E.W.	EACH WAY	FIN	FINISHED	HORIZ	HORIZONTAL	MIR	MIRROR	PLAS	PLASTIC	SCHD	SCHEDULE	T.P.D.	TOILET PAPER
A.C.T.	ACOUSTICAL CEILING	COMM	COMMUNICATION	ELEC	ELECTRICAL	F.F.E.	FINISHED FLOOR ELEVATION	H.B.	HOSE BIB	MISC	MISCELLANEOUS	PL	PLATE	SECT	SECTION	T.P.	TYPICAL
ADDN	ADDITIONAL	CMC	CONCRETE	EL	ELEVATION	E.C.	EXISTING	IN	INCH	NOM	NOMINAL	PLYWD	PLYWOOD	SHT	SHEET	TS	TUBE STEEL
ALUM	ALUMINUM	C.M.U.	CONCRETE MASONRY UNITS	EXIST	EXISTING	F.E.C.	FIRE EXTINGUISHER CABINET	INCL	INCLUDE(ING)	N.A.	NOT APPLICABLE	PRE. ENG	PREVIOUSLY ENGINEERED	SHT VAN	SHEET VINYL	TYP	TYPICAL
A.B.	ANCHOR BOLT	CONN	CONNECTION	EXP	EXPANSION	F.T.	FIRE TREATED FLOOR	INSUL	INSULATE(ION)	N.T.C.	NOT IN CONTRACT	PSF	POUNDS PER SQUARE FOOT	SIM	SIMILAR	TRANSV	TRANSVERSE
&	AND	C.J.	CONTROL JOINT OR CONSTRUCTION JOINT	EXT	EXTERIOR	F.D.	FLOOR DRAIN	INT	INTERIOR	N.T.S.	NOT TO SCALE	P.T.D.	PAPER TOWEL DISPENSER	S.S.T.	SINK BASE	U.O.N.	UNLESS OTHERWISE NOTED
ANDD	AND DORIZED	CONSTR	CONSTRUCTION JOINT	EL.F.S.	EXTERIOR FINISH SYSTEM	F.L.	FLOOR LINE	JAN	JANITOR	NO.	NUMBER	Q.T.	QUARRY TILE	S.C.	SOLID CORE	VAC	VACUUM
APPROX	APPROXIMATELY	CONT	CONTINUOUS	FAB	FABRICATE	FT	FOOT	JOINT	JOINT	NO.	NUMBER	REF	RADIUS	S.C.W.	SANITARY NAPKIN DISPENSER	V.B.	VAPOR BARRIER
ARCH	ARCHITECTURALLY	CU	CUBIC	F.O.C.	FACE OF CONCRETE	FTC	FOOTING	JOINT	JOINT	OPP	OPPOSITE	REIN	REINFORCING	S.S.N.D.	SANITARY NAPKIN DISPENSER	VERT	VERTICAL
ASPH	ASPHALT	DEM	DEMOLITION	F.O.F.	FACE OF FINISH	FDN	FOUNDATION	LAM	LAMINATE	ORIG	ORIGINAL	REIN	REINFORCING	SO	SQUARE	VERF	VERIFY
@	AT	DIA	DIAMETER	F.O.S.	FACE OF STUDS	GALV	GALVANIZED	LB	POUND	O/H	OVERHEAD	REIN	REINFORCING	SO FT	SQUARE FEET	VEST	VESTIBULE
BK	BACK	DIFF	DIFFUSER	F.O.W.	FACE OF WALL	GSP	GALVANIZED STEEL PIPE	LER	LUMBER	O/H	OVERHEAD DOOR	REIN	REINFORCING	SST	STAINLESS STEEL	V.C.T.	VINYL COMPOSITION TILE
B.C.	BASE CABINET	DIM	DIMENSION	F TO F	FACE TO FACE	GLB	GLULAM BEAM	M.C.	MASONRY OPENING	OPNG	ON CENTER OPENING	REIN	REINFORCING	STL	STEEL	W.C.	WALL CABINET
BM	BEAM	DN	DOWN	F.F.	FACTORY FINISH	G.B.	GRAB BAR	MFG	MANUFACTURER(ED)	OPP	OPPOSITE	REIN	REINFORCING	STRUC	STRUCTURAL	W.F.F.	WELDED WIRE FABRIC
BLK	BLOCK	DR	DOOR	F.F.	FIRE EXTINGUISHER	GR	GRADE	MAX	MAXIMUM	ORIG	ORIGINAL	REIN	REINFORCING	SUSP	SUSPENDED	W/M	WITH WIRE MESH
BLKC	BLOCKING	DS	DOWNSPOUT	F.P.	FIRE PROOF	GA	GAUGE	MECH	MECHANICAL	O/H	OVERHEAD	REIN	REINFORCING	S.S.T.	SUSPENDED	W/O	WITHOUT
CAB	CABINET	D.B.	DRAWER BANK	F.F.	FACTORY FINISH	GYP	GYPSON	MEMB	MEMBRANE	OPNG	ON CENTER OPENING	REIN	REINFORCING	THRU	THROUGH	W	WITH
CPT	CARPET	DWG	DRAWING	F.P.	FIRE PROOF	G.W.B.	GYPSON WALL BOARD	MWP	MEMBRANE WATER-PROOFING	OHD	OVERHEAD DOOR	REIN	REINFORCING	R.O.	ROUGH OPENING	W/O	WITHOUT
CSMT	CASEMENT	D.F.	DRINKING FOUNTAIN	F.P.	FIRE PROOF	HC	HANDICAPPED	MTL	METAL	OPNG	ON CENTER OPENING	REIN	REINFORCING	R	ROUND	WD	WOOD
CLG	CEILING									OPNG	ON CENTER OPENING	REIN	REINFORCING	RUB	RUBBER		
CL	CENTERLINE									OPNG	ON CENTER OPENING	REIN	REINFORCING	TELE	TELEPHONE		
C TO C	CENTER TO CENTER									OHD	OVERHEAD DOOR	REIN	REINFORCING	THRU	THROUGH		
										OHD	OVERHEAD DOOR	REIN	REINFORCING	T.L.	TENANT IMPROVEMENT		



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(907) 574-7441 FAX (907) 574-7407 INCORPORATED

TENANT IMPROVEMENTS FOR
SOUTHCENTRAL FOUNDATION
PRIMARY CARE CENTER
ANCHORAGE, ALASKA

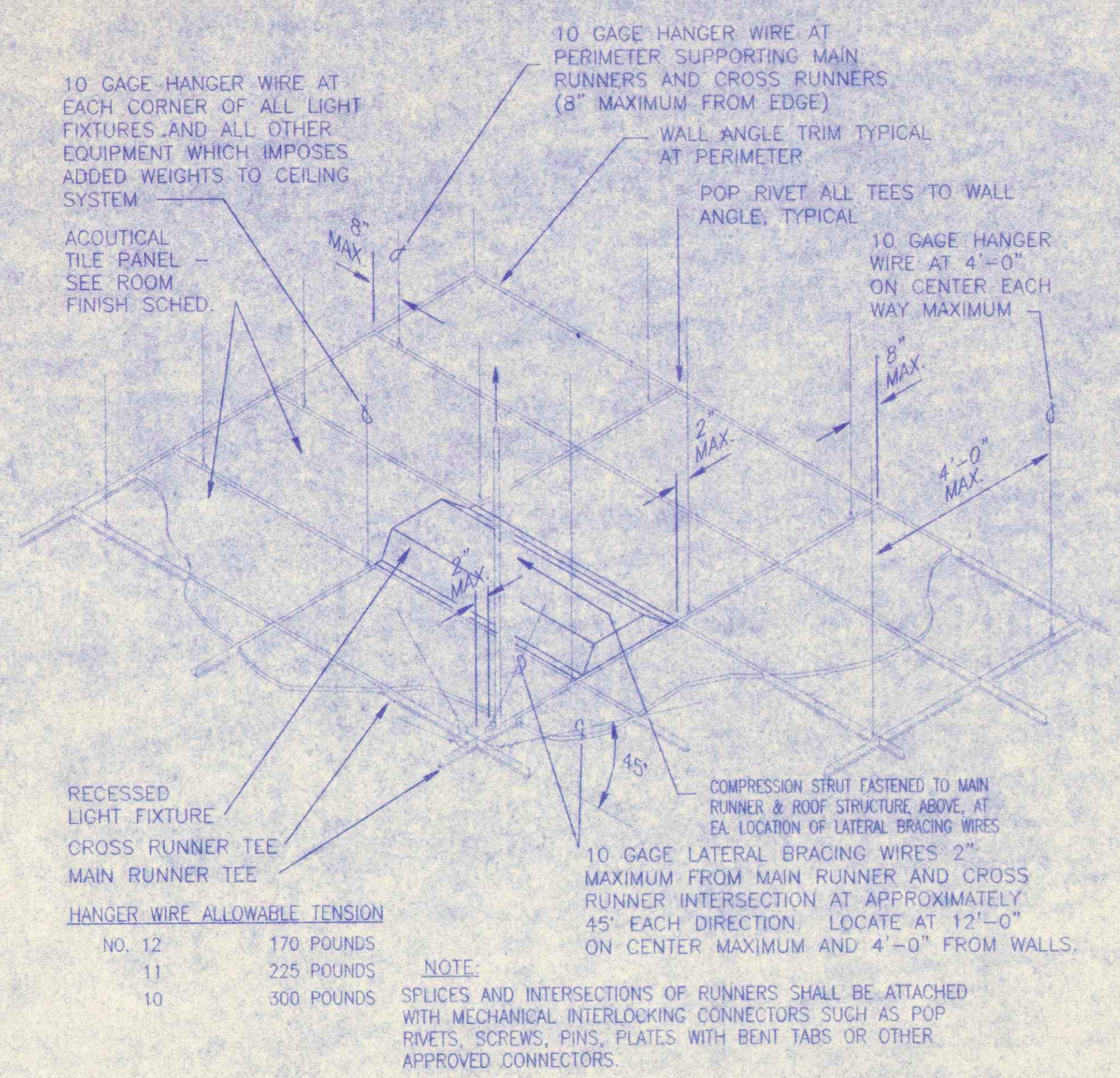


FULL SIZE SHEET IS 34" X 22"
HALF SIZE SHEET IS 17" X 11"
[DRAWING SCALES NOTED ARE FOR FULL SIZE SHEET]

JOB NO. 97049.01
DATE 10/1/97
DRAWN JCS
REVIEWED L.P.K.

CODE DATA
DRAWING INDEX
SYMBOLS LEGEND

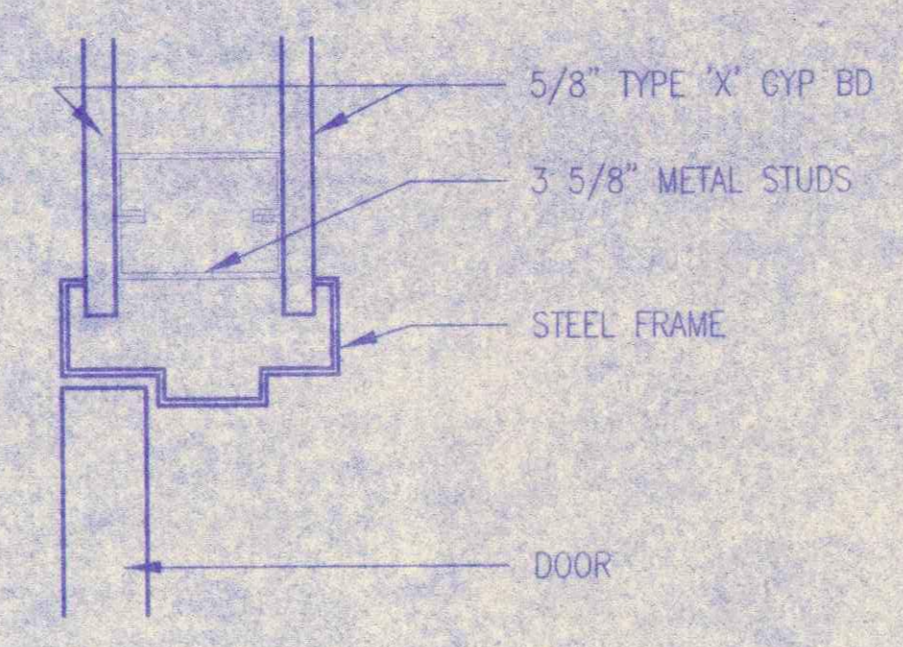
SHEET NO.
G1



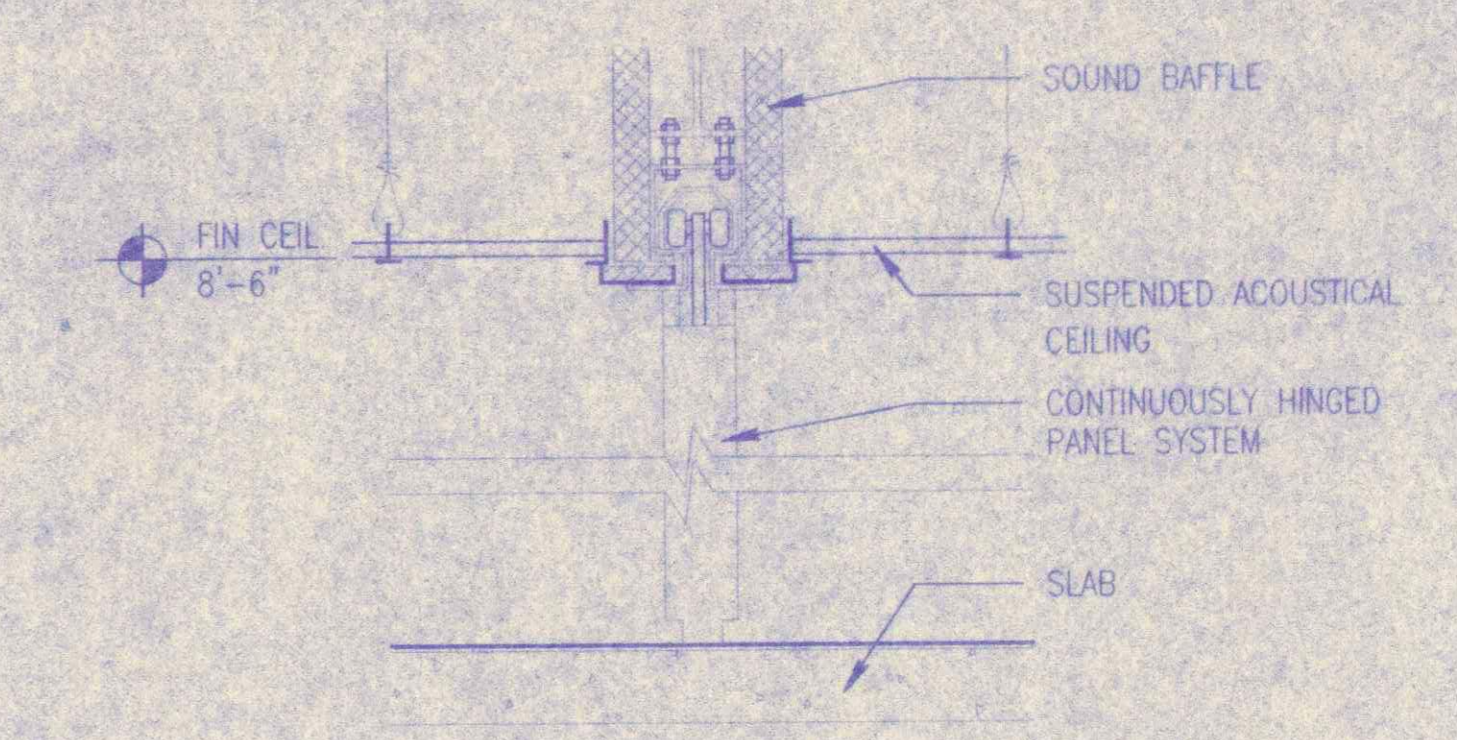
1 TYPICAL CEILING SUSPENSION SYSTEM
N.T.S.

HANGER WIRE ALLOWABLE TENSION	
No. 12	170 POUNDS
11	225 POUNDS
10	300 POUNDS

SUSPENDED CEILING SHALL COMPLY w/ THE REQUIREMENTS OF THE 1994 U.B.C. STANDARDS NO. 25-2, PART 3 METAL SUSPENSION SYSTEMS for ACOUSTICAL TILE & for LAY-IN PANEL CEILING, AND INCLUDING BUT NOT LIMITED TO CURRENT M.O.A. REQUIREMENTS for LATERAL BRACING AND LIGHT FIXTURE SUPPORTS. THIS SHALL BE IN ACCORDANCE w/ NO. 23.15.4701(E) OF THE M.O.A. AMENDMENTS TO THE U.B.C., 1994 EDITION.



2 DOOR HEAD (JAMB SIM)
3" x 1'-0"



3 PANEL DOOR SECTION
1 1/2" x 1'-0"



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748 W. ALBERT BUIE 400 ANCHORAGE, ALASKA 99501
(907) 564-2444 FAX (907) 564-2702

TENANT IMPROVEMENTS FOR
SOUTHCENTRAL FOUNDATION
PRIMARY CARE CENTER
ANCHORAGE, ALASKA

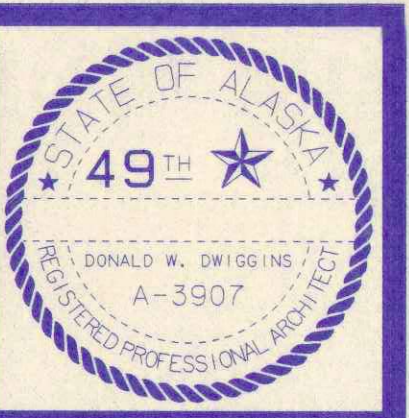
REVISIONS
1

FULL SIZE SHEET IS 34" X 22"
HALF SIZE SHEET IS 17" X 11"
DRAWING SCALES NOTED ARE FOR FULL SIZE SHEET

JOB NO. 97049.01
DATE 10/1/97
DRAWN J.D.B.
REVIEWED J.P.K.

DETAILS

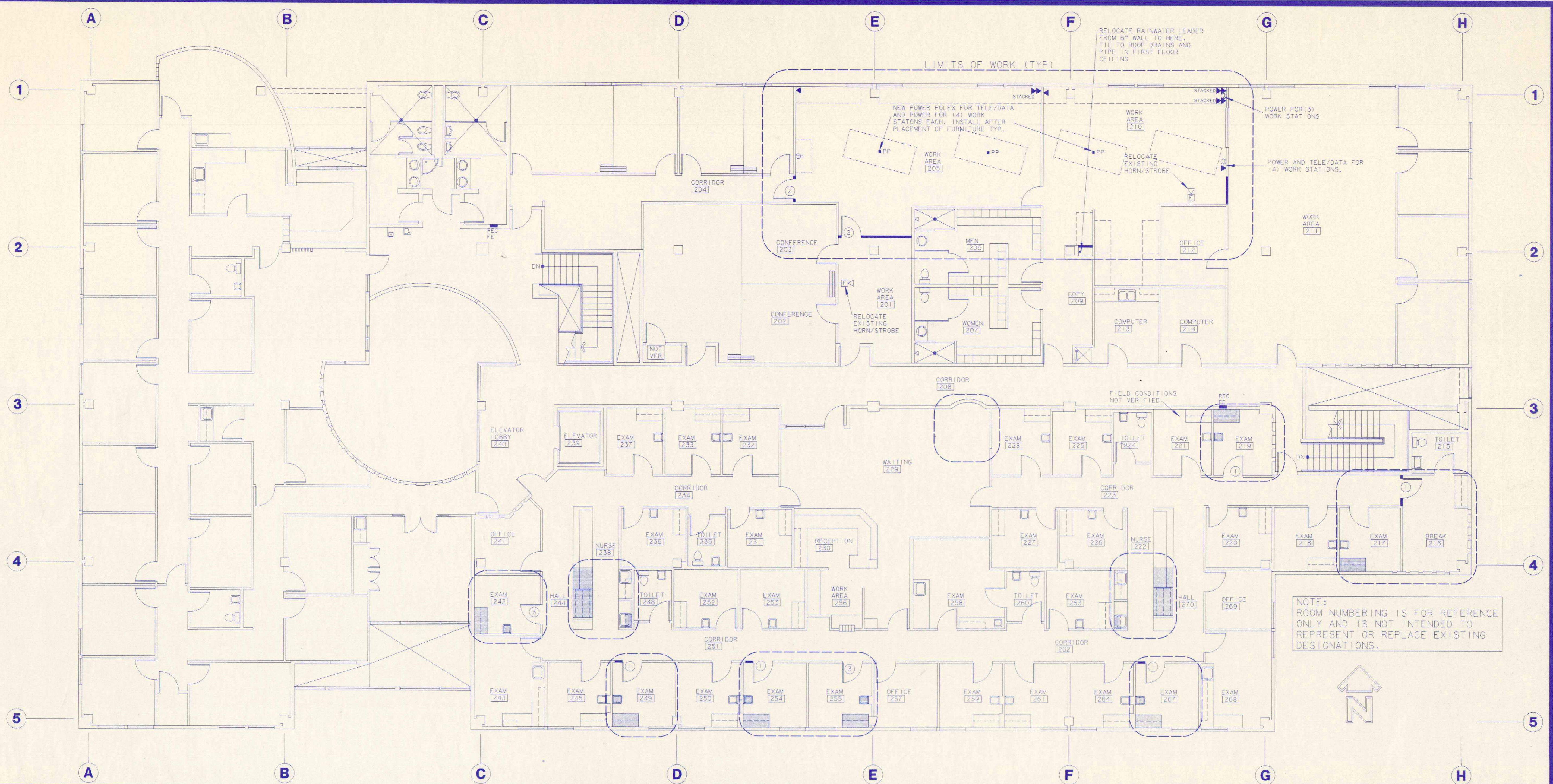
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A2



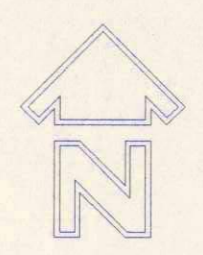
CIRI

PLAN, DETAILS, SCHEDULES & DATA
 REMODELED OFFICES FOR:
SCF PRIMARY CARE CENTER
 PRIMARY CARE CENTER FLOOR 2
 PREPARED FOR COOK INLET PROPERTY MANAGEMENT

JOB NUMBER	88026	WORK ORDER	990818
DRAWN	09/10/99	BY	CWR
REVISED			



NOTE: ROOM NUMBERING IS FOR REFERENCE ONLY AND IS NOT INTENDED TO REPRESENT OR REPLACE EXISTING DESIGNATIONS.



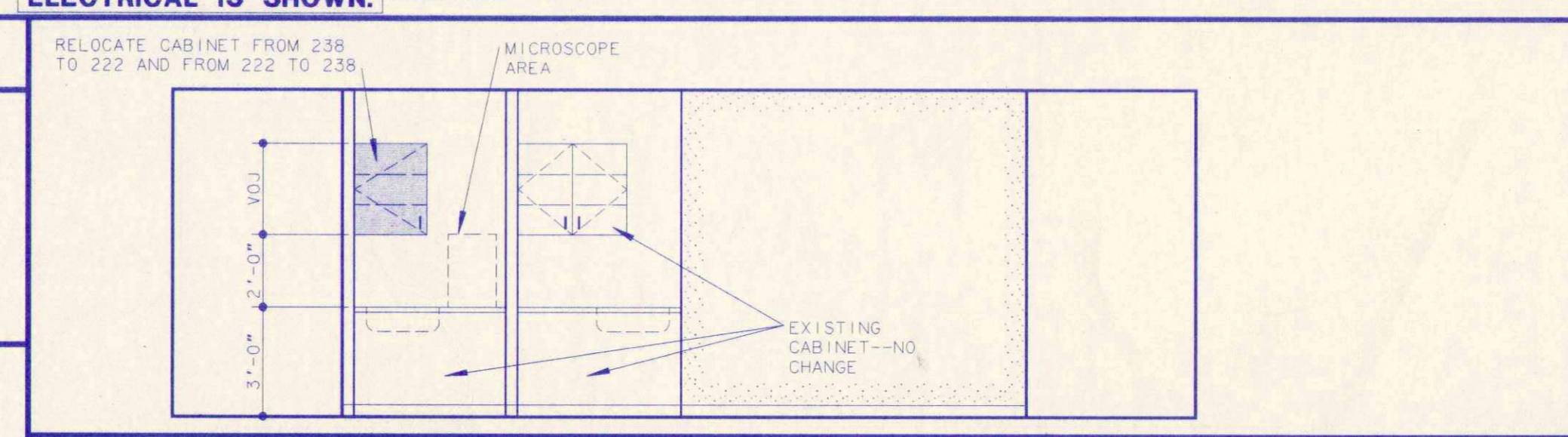
FLOOR PLAN NOTE: ONLY NEW ELECTRICAL IS SHOWN. SEE DRAWING T1-A4 FOR "ALL ELECTRICAL" PLAN.

SCALE: 1/8"=1'-0"

DOOR SCHEDULE						
ID	TYPE	WIDTH	HT	THICK	RATING	NOTES
1	A	3'-0"	6'-8"	1-3/4"	---	3,4
2	A	3'-0"	6'-8"	1-3/4"	---	2,3,4
3	A	3'-0"	6'-8"	1-3/4"	---	2,3,4,5

- DOOR NOTES**
- UNLABELED DOORS ARE EXISTING.
 - VERIFY KEYING WITH MANAGER.
 - MATCH EXISTING HARDWARE FINISH.
 - 20 MIN DOOR EVEN IF NOT RATED ASSEMBLY.
 - EXISTING DOOR TO REMAIN, MODIFY AS NOTED.

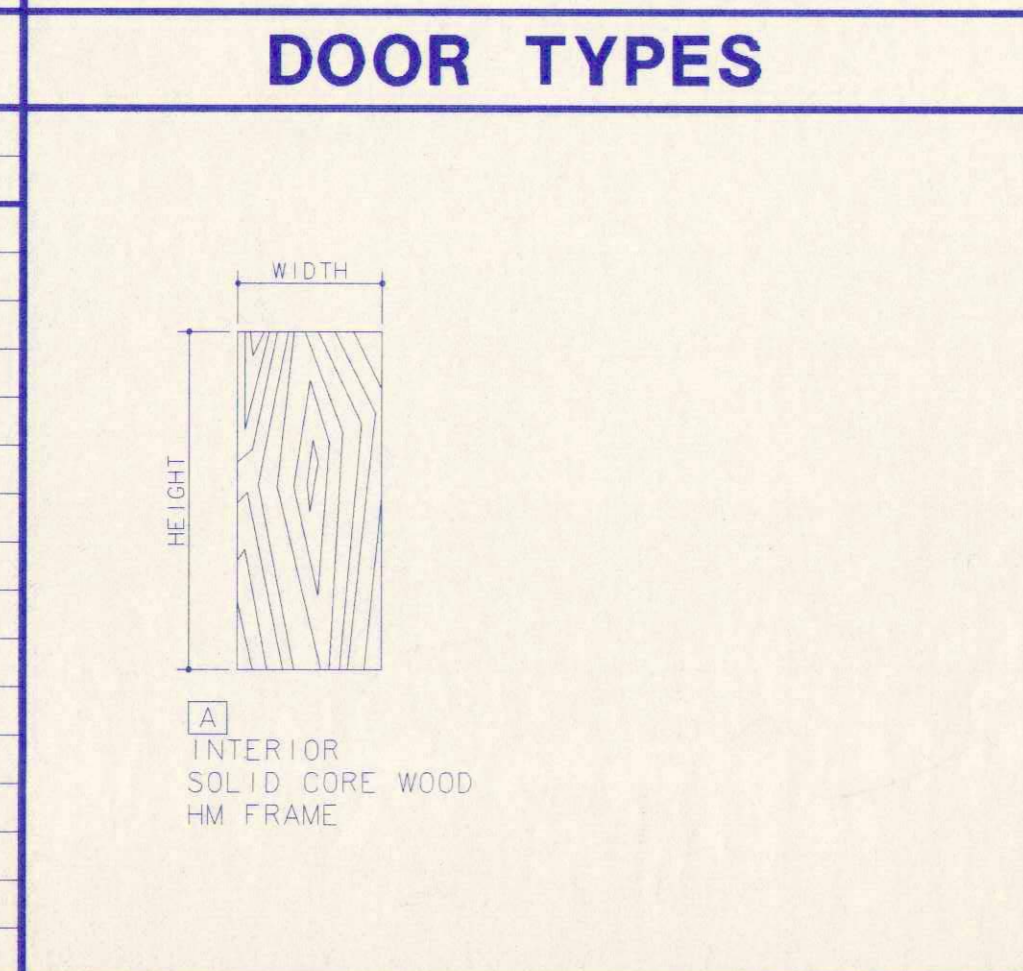
- WALL TYPE LEGEND**
- EXISTING, REFINISH AS REQUIRED.
 - EXISTING TO BE REMOVED
 - 3-5/8" METAL STUDS AT 24" OC, 5/8 GWB EACH SIDE, TERMINATE AT SUSPENDED CEILING, FULL THICK BATTS IN STUD CAVITIES.



ELEVATION--EAST 238 & WEST 222

SCALE: 1/4"=1'-0"

HARDWARE SCHEDULE				
	GROUP	1	2	3
PASSAGE LATCHSET				
LOCKSET				
(3) BUTT HINGES (EACH LEAF)				
CLOSER				
WALL STOP				
SILENCERS				



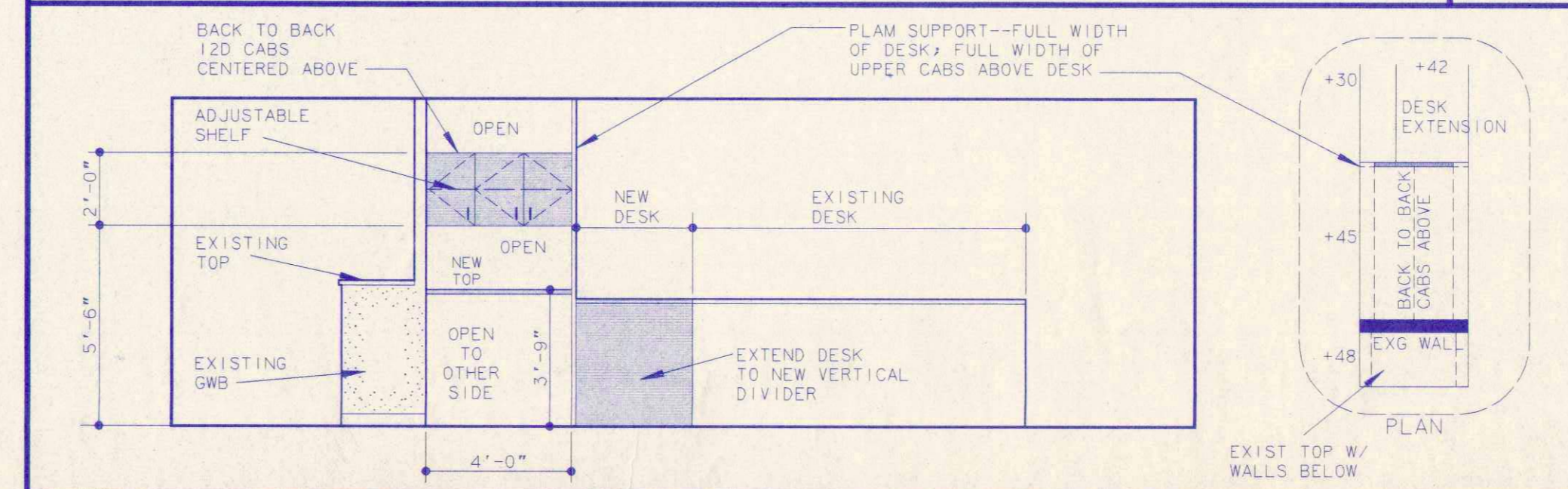
APPROVED BY:

SIGNED _____

BY (PRINTED NAME) _____

SCF PRIMARY CARE CENTER

DATE _____



ELEVATION--EAST 244 & WEST 270

SCALE: 1/4"=1'-0"

PROJECT DATA

GENERAL:

PROJECT NAME: SOUTH CENTRAL FOUNDATION PRIMARY CARE CENTER
 PROJECT ADDRESS: 4320 DIPLOMACY DRIVE ANCHORAGE, AK 99504
 OWNER: COOK INLET REGION INC
 TENANT: TRACT C2, TUDOR CENTER
 ARCHITECT FILE NO: SOUTH CENTRAL FOUNDATION 88026
 PERMIT #: 99-
 PARKING: NO CHANGE

BUILDING ANALYSIS:

FLOORS: 2 OF A TOTAL OF 2
 CONSTRUCTION: TYPE II, NON-RATED
 OCCUPANCY: B (GENERAL OFFICE)
 ALARMED: YES, MANUAL/SUPERVISED
 SPRINKLED: YES
 OCCUPANT LOAD: NO CHANGE

NOTE TO PLAN REVIEWER:

THIS PROJECT COVERS MINOR REMODELING TO AN EXISTING BUILDING. ALL EXITING PATTERNS AND THE OCCUPANT LOAD AND BASICALLY UNCHANGED.

Don Dwiggins Associates
 Architects
 1401 West 34th Ave Anchorage, Alaska 99503 (907)274-1643

FLOOR 2
T1 A-1



CIRI

REFLECTED CEILING PLAN & NOTES
REMODELED OFFICES FOR:
SCF PRIMARY CARE CENTER
PRIMARY CARE CENTER FLOOR 2
PREPARED FOR COOK INLET PROPERTY MANAGEMENT

Table with project details: JOB NUMBER 98026, WORK ORDER 99018, DRAWN BY CWR, DATE 09/10/99, REVISED.

Don Dwiggins Associates
Architects
1401 West 34th Ave., Anchorage, Alaska 99503 (907)274-1643

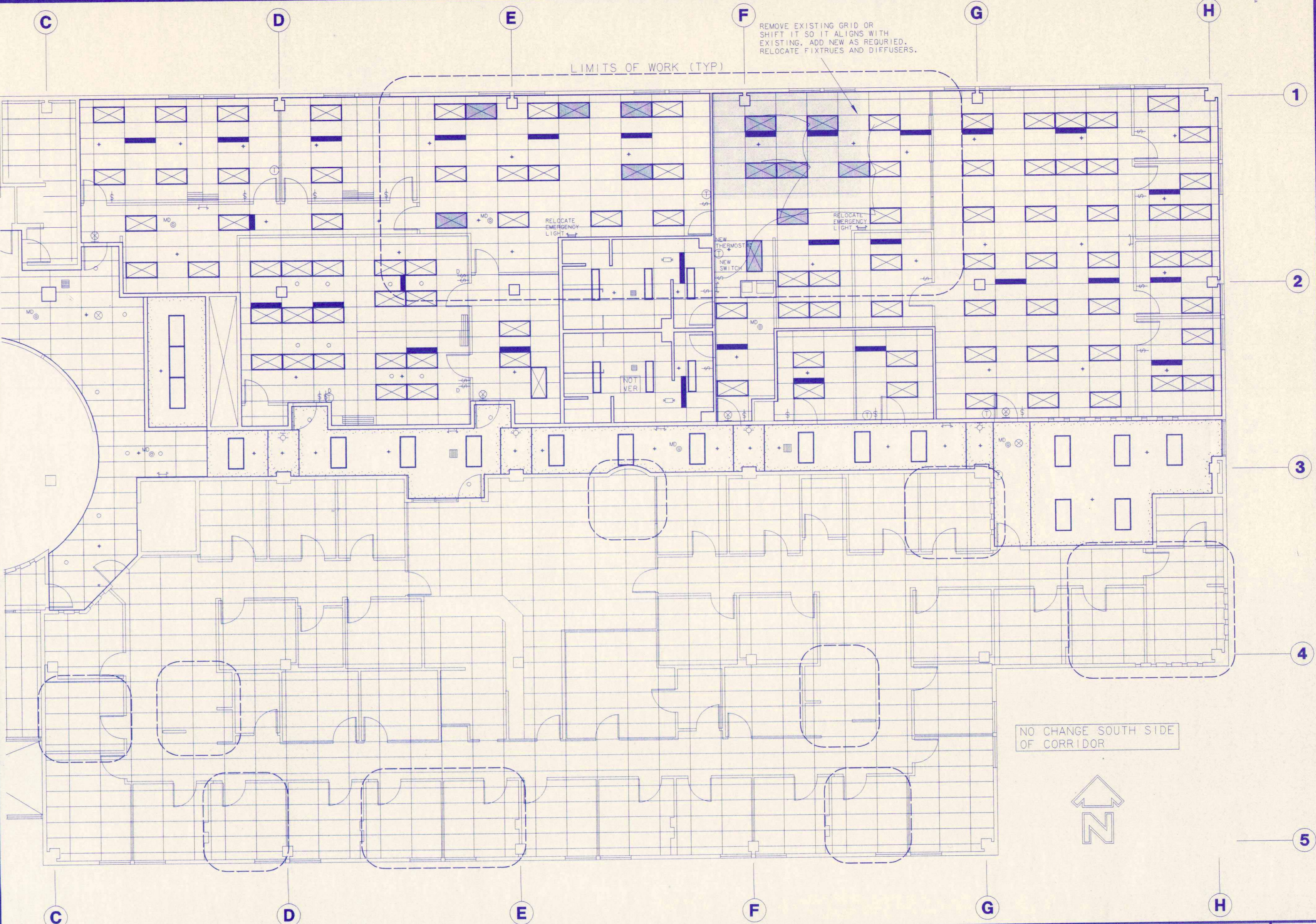
FLOOR 2
TI
A-2

ABBREVIATIONS

NOTES

Table of abbreviations with columns for symbol, description, and code. Includes items like AMP, ANCHOR BOLT, ABOVE, AC, ACUSTIC, ACT, etc.

- NOTES: DIVISION 1: GENERAL. 1. SCOPE OF WORK: A. PROVIDE ALL LABOR AND MATERIALS REQUIRED... B. THE OWNER HAS SUBMITTED AND PAID FOR THE GENERAL BUILDING PERMIT... C. THE CONTRACTOR SHALL FULLY INFORM HIMSELF AS TO EXISTING CONDITIONS... 2. CODES: PERFORM ALL WORK IN ACCORDANCE WITH THE UNIFORM CODES... 3. DRAWINGS: A. THE TERM 'DRAWINGS' MEANS ALL DRAWINGS AND NOTES... B. DIMENSIONS SHOWN '8'-0' ARE FEET AND INCHES... 4. PERFORMANCE: A. USE ONLY WORKERS SKILLED AND TRAINED FOR THE SPECIFIC TASK BEING PERFORMED... 5. ALTERNATE BIDS: 'ALTERNATE BIDS' ARE REDUCTIONS OR INCREASES IN THE SCOPE OF WORK...



REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"

- D. REMOVE FLOOR FINISH AND BASE AND PREPARE FLOOR FOR NEW FINISH. E. REMOVE DAMAGED COMPONENTS AND OTHERWISE REPAIR CEILING SUSPENSION GRID AND TILE. F. RELOCATE OR REMOVE SPRINKLER HEADS AS DICTATED BY NEW WALL ARRANGEMENT. G. RELOCATE OR REMOVE MECHANICAL DIFFUSERS, REGISTERS, DUCTWORK RELATED EQUIPMENT AND CONTROLS AS DICTATED BY NEW WALL CONFIGURATION. H. REMOVE ALL ELECTRICAL AND TELEPHONE CONDUIT, BOXES, DEVICES AND WIRING NOT BEING REUSED. I. REMOVE SURFACE MOUNTED WIRING AND RACEWAYS WHERE EXPOSED UNO. J. RECONFIGURE LIGHTING FIXTURES, SWITCHING, EMERGENCY LIGHTS, FIRE ALARM DEVICES AND NIGHT LIGHTS AS DICTATED BY NEW WALL CONFIGURATION. 8. REPAIRS: A. FILL CRACKS, UNEVENNESS, JOINTS AND DAMAGE AND OTHERWISE PREPARE FLOOR FOR NEW FINISH. B. REPAIR HOLES IN GYPSUM WALL BOARD, INCLUDING WHERE ELECTRICAL AND COMMUNICATION DEVICES ARE REMOVED. C. REPAIR DOOR AND WINDOW FRAMES, CLEAN AND ADJUST OR REPLACE DOOR HARDWARE. D. REPAIR DAMAGED WOODWORK, PLASTIC LAMINATE AND CASEWORK. E. REPAIR SUSPENDED CEILING: IF MORE THAN 1/3 OF TILE IS REMOVED AT ONE TIME, SEISMIC BRACE ENTIRE CEILING GRID. F. REFINISH EXISTING WALLS WHERE DAMAGED, AFFECTED BY NEW WORK, OR NOT CONSISTENT WITH SPECIFIED FINISH. REFINISH ENTIRE LENGTH OF WALLS AFFECTED BY THIS WORK. SPOT PATCHING WILL NOT BE ACCEPTED. G. REPLACE ITEMS WHICH CANNOT BE REPAIRED.

- 9. CLEANUP: KEEP PROJECT AREA CLEAN AT ALL TIMES: A. PRIOR TO EACH BUSINESS DAY OF TENANT, CLEAN OCCUPIED AREAS AND BROOM CLEAN ALL WORK AREAS. B. PROVIDE DUST BARRIERS BETWEEN WORK AREAS AND OCCUPIED AREAS. C. AT COMPLETION OF THE WORK, THOROUGHLY CLEAN ALL AREAS AFFECTED BY THE CONSTRUCTION INCLUDING BUT NOT LIMITED TO, ALL EQUIPMENT, GLAZING, FIXTURES, FINISHES, ETC. 10. SECURITY: SECURE AND CLEARLY IDENTIFY AREAS UNDER CONSTRUCTION FROM ACCESS BY UNAUTHORIZED PERSONNEL. 11. SUBMITTALS: A. FLOORING. B. SPRINKLER DESIGN. C. SEE MECHANICAL. 12. AS-BUILT DRAWINGS: AT THE COMPLETION OF THE PROJECT, PROVIDE THE OWNER WITH AS-BUILT DRAWINGS AS FOLLOWS: A. ONE RED-LINED COPY OF THE DRAWINGS DESCRIBING CHANGES IN THE WORK WHICH OCCURRED DURING CONSTRUCTION. B. MECHANICAL AND PLUMBING SYSTEMS. C. SPRINKLER SYSTEM.

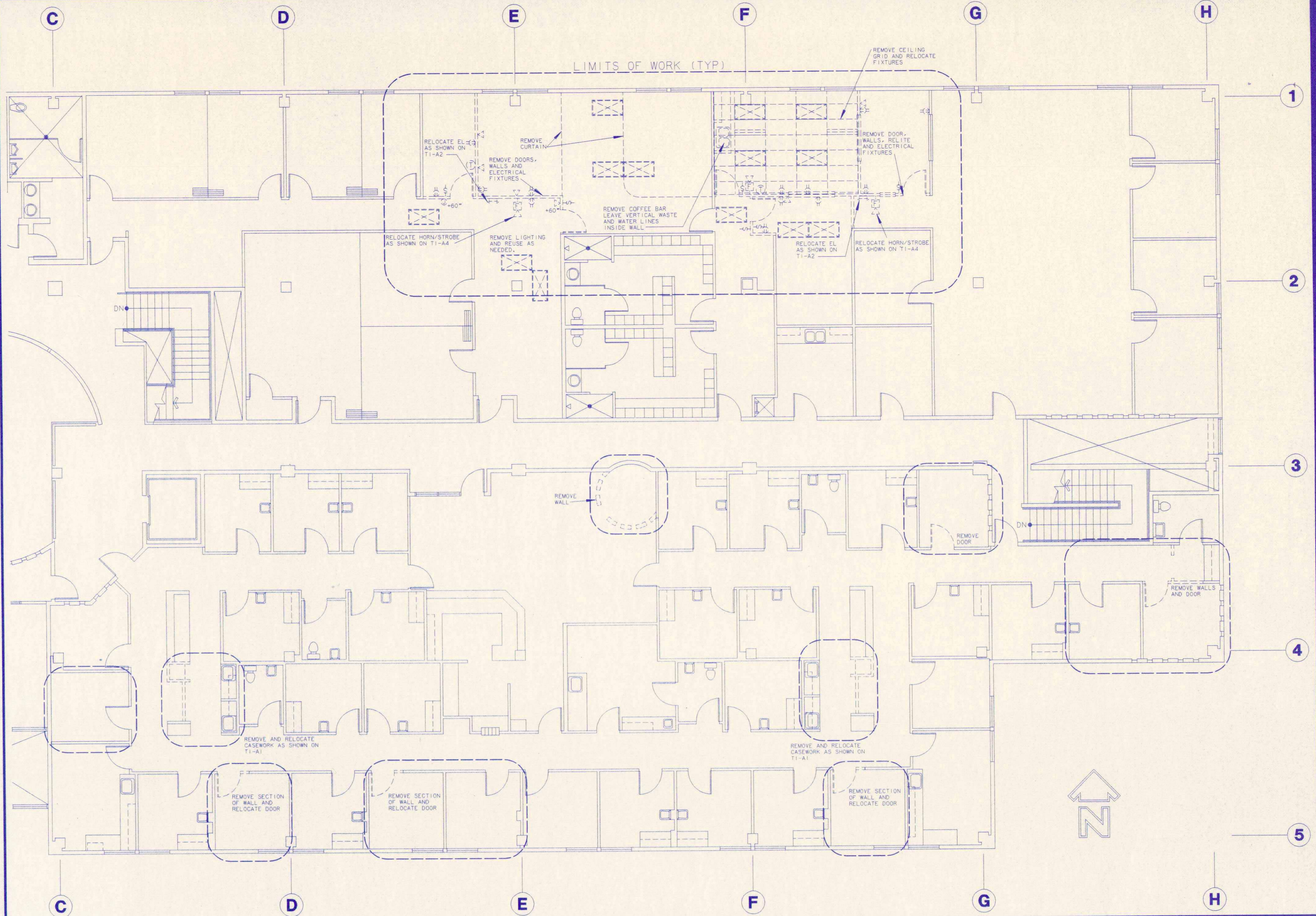
- DIVISION 5: METALS 1. GENERAL: PROVIDE MISCELLANEOUS METALS, PLATES, BRACKETS, HANGERS, CLIPS, ETC. AS NECESSARY. DIVISION 6: WOOD AND PLASTIC 1. ROUGH CARPENTRY: A. PROVIDE 2x SOLID BLOCKING INSIDE WALLS FOR SUPPORTING ITEMS ATTACHED TO WALLS. 2. CASEWORK: A. GENERAL: 1. CASEWORK SHOWN HAS BEEN DESIGNED BASED ON THE UNDERSTANDING OF THE ARCHITECT OF WHAT TENANT DESIRES BUT THE DESIGNS HAVE NOT YET BEEN APPROVED BY TENANT. SOME MODIFICATION CAN BE ANTICIPATED PRIOR TO COMMENCEMENT OF CONSTRUCTION. 2. CUSTOM BUILT, COMMERCIAL GRADE. FLUSH OVERLAY WITH PLASTIC LAMINATE ALL SURFACES, INCLUDING FACES, TOPS, BOTTOMS, ENDS, SPLASH, RETURNS AND CABINET INTERIORS. MEDIUM DENSITY PARTICLE BOARD SUBSTRATE. 3. PROVIDE SHOP DRAWINGS AND COLOR SAMPLES BEFORE FABRICATION. B. LAMINATES GRADES: 'FORMICA' OR EQUAL. 1. TOPS/SPLASH/EDGE/RETURNS: GP50, 048 INCH. 2. FACES: GP28, 028 INCH. 3. INTERIORS: CL20, 020 INCH. 4. SHELVING: CL20, 020 INCH. 5. EDGE BANDING: GP28, 028 INCH. 6. ALT' EDGE BAND: SOLID PVC HARDWARE: 1. INSTALL SHELVES ON ADJUSTABLE BRACKETS MAXIMUM 3-0 APART. USE DOUBLE WIDTH BRACKETS ON SHELVES DEEPER THAN 12 INCHES. 2. INSTALL DRAWERS ON FULL EXTENSION, 150# GLIDES.

CEILING LEGEND table with symbols and descriptions: RECESSED FLUORESCENT, RECESSED CAN, EXIT SIGN (CEILING, WALL), EMERGENCY LIGHT (CEILING, WALL), MOTION DETECTOR, SPEAKER, SPRINKLER, SWITCH: D=DIMMER, MD=MOTION DETECTOR, 3=3-WAY, LC=LIGHTING CONTACTOR. SHADED ITEMS ARE NEW OR RELOCATED UN-SHADED ARE EXISTING TO REMAIN.

NOTES

- 3. BRUSHED STAINLESS STEEL PULLS.
- 4. GROMMETS: 2 INCH INSIDE DIAMETER, VINYL WITH WIRE CLAMP. COLOR TO COMPLEMENT ADJACENT SURFACE MATERIAL.
- D. COLORS: MATCH EXISTING.
- DIVISION 7: NOT USED
- DIVISION 8: WINDOWS AND DOORS
- 1. DOOR FRAMES:
 - 1. 18 GAUGE WELDED HOLLOW METAL FRAMES.
 - 2. USE 'TIMLEY' IF EXISTING ARE RE-USED.
- 2. DOOR TYPES: ALSO SEE DRAWINGS
INTERIOR, SOLID CORE WOOD, STAIN GRADE OAK VENEER, MATCH EXISTING, 20 MINUTE LABEL, EVEN IF NOT IN 20 MINUTE ASSEMBLY.
- 3. HARDWARE:
BEST BRAND, H SERIES, LEVER, MATCH EXISTING FINISH.
- 4. KEYING: COORDINATE WITH OWNER AND TENANT.
- DIVISION 9: FINISHES
- 1. METAL FRAMING SYSTEMS: (ALSO SEE WALL TYPES.)
 - A. MATERIALS:
 - 1. METAL STUDS: GALVANIZED 25 GAUGE UNO, 3-5/8 METAL STUDS AT MAXIMUM 2-0 OC. (GYPSUM ASSOCIATION NUMBER WP-1200.)
 - B. INSTALLATION:
 - 1. PROVIDE APPROXIMATELY 45 DEGREE, METAL STUD, DIAGONAL BRACE FROM TOP OF WALL TO STRUCTURE ABOVE WHERE LENGTH OF UNSUPPORTED WALL SECTION EXCEEDS 12-0 FEET. LOCATE BRACES AT MAXIMUM 8-0 OC.
 - 2. ATTACH METAL STUD WALLS TO CONC FLOORS WITH 'HILT' 1/4 SHOT ANCHORS AT 4-0 OC. SCREW ATTACH TO SUSPENDED CEILING GRID AT 4-0 OC.
 - 3. CONSTRUCT WALLS SO FINISHES ALIGN OR ARE CENTERED ON WINDOW MULLIONS WHERE NOT DIMENSIONED.
 - 4. FURR TO MINIMUM SIZE TO COVER STRUCTURAL ELEMENTS AND PLUMBING.
 - 5. PROVIDE FULL-HEIGHT, DOUBLE STUDS AT JAMBS. PROVIDE FULL WIDTH STUD AT HEADERS.
- 2. GYPSUM BOARD:
 - A. MATERIAL:
 - 1. 5/8 THICK, TYPE 'X'.
 - 2. GALVANIZED ACCESSORIES, INCLUDING BUT NOT LIMITED TO 'L' METAL AND CORNER BEADS.
 - B. INSTALLATION:
 - 1. SCREW ATTACH ALL GYPSUM BOARD.
 - 2. FINISH WALLS TERMINATING AT THE SUSPENDED CEILING AND AT WINDOW MULLIONS WITH 'L' METAL. EXTEND WALL FINISH TO GRID LEVEL. DO NOT LEAVE REVEAL BETWEEN GRID AND TOP OF WALL.
 - 3. AT MULLIONS, PAINT EXPOSED END STUD TO MATCH MULLION.
 - 4. TAPE AND PROVIDE THREE COAT FINISH OF ALL JOINTS AND REPAIRS.
 - 5. 'LIGHT ORANGE PEEL' TEXTURE.
 - 6. WHERE APPLICABLE, FIRE TAPE ONLY ABOVE SUSPENDED CEILING.
- 3. PAINT:
 - A. SCOPE OF PAINTING:
 - 1. PAINT OR RE-PAINT ALL GYPSUM BOARD.
 - 2. FINISH NEW AND RE-FINISH DAMAGED WOOD DOORS AND WOODWORK.
 - 3. PAINT OR RE-PAINT ALL STEEL DOOR AND WINDOW FRAMES.
 - B. MATERIALS:
 - 1. GYPSUM BOARD, PAINT FINISH: ONE COAT PRIMER SEALER AND TWO COATS LATEX EGGSHELL AT NEW WORK; TWO COATS LATEX EGGSHELL AT REPAINTED AREAS.
 - 2. GYPSUM BOARD, TO RECEIVE WALL COVERINGS: LATEX SEALER SPECIFICALLY DESIGNED FOR WALL COVERING WALL PREPARATION.
 - 3. INTERIOR WOOD DOORS, STAINED: SEAL, SAND, STAIN AND (4) COATS OF LACQUER. (FINISH OR REFINISH DOORS TO MATCH EXISTING.)
 - 4. INTERIOR WOOD TRIM, STAINED: FINISH OR REFINISH TO MATCH STAINED DOORS.
 - 5. METALS: ONE COAT PRIMER AND TWO COATS ALKYD SATIN ENAMEL FOR NEW ITEMS. ONE COAT ALKYD SATIN ENAMEL OVER EXISTING ITEMS. OMIT PRIMER AT FACTORY PRIMED ITEMS.
 - 6. FULLER OBRIEN OR EQUAL.
 - C. INSTALLATION:
 - 1. POST ALL REQUIRED WARNING SIGNS AND PROVIDE MATERIAL DATA SHEETS TO THE OWNER FOR THEIR FILES.
 - 2. IN OCCUPIED SPACES OR SPACES WITH COMMON ATMOSPHERES WITH OCCUPIED SPACES, PAINT ONLY AFTER NORMAL BUSINESS HOURS AND STOP PAINTING AND VENTILATE SUITE FOR FOUR HOURS PRIOR TO RE-OCCUPANCY.
 - 3. USE PRODUCTS WITH NO VOLATILE ORGANIC COMPOUNDS (VOC).
 - 4. ALL THE ABOVE NOTWITHSTANDING, PAINT AT TIMES PERMITTED BY THE MANAGER.
 - 5. COLORS BY TENANT AND MANAGER.
 - 6. RE-PAINT ENTIRE LENGTH OF WALL WHERE PAINTING OCCURS. DO NOT SPOT PAINT.
 - 7. SPRAY APPLY ALL PAINT APPLIED TO METALS. DO NOT BRUSH APPLY. DO NOT RE-PAINT PREFINISHED DOOR FRAMES.
- 4. FLOORS:
 - A. RESILIENT FLOORING: (REPLACE FLOORING IN OFFICES WHICH ARE BEING CONVERTED TO EXAM ROOMS) 'ARMSTRONG', SHEET VINYL, 'CLASSIC COLON'. VERIFY COLOR BY TENANT AND MANAGER. ALTERNATE: MATCH EXISTING.

- B. CARPET: COMMERCIAL GRADE, DIRECT GLUE DOWN, LEVEL LOOP, 28 OUNCE FACE WEIGHT WITH UNITARY BACKING, 12 FOOT WIDE BROADLOOM, ANTI-STATIC, ANTI FUNGUS, 10-YEAR WEAR GUARANTEE, 100% NYLON, FLAME SPREAD 25, CLASS A. SELECTIONS WILL BE MADE FROM 'OR EQUAL' LINES SUBMITTED BY SUCCESSFUL BIDDER. PATTERN AND COLOR BY OWNER OR TENANT.
- C. INSTALLATION:
 - 1. PROVIDE RUBBER REDUCER STRIPS AT TRANSITIONS. COLOR BY TENANT AND MANAGER.
 - 2. USE 'EARTH FRIENDLY' ADHESIVES, ROBERTS OR EQUAL.
- 5. BASE: 4 INCH HIGH, RUBBER, ROPPE, BURKE OR EQUAL.
- 6. CEILINGS:
 - A. MATERIALS:
 - 1. SUSPENDED ACOUSTIC CEILING IS EXISTING, SUSPENDED AT 8-5 AFF.
 - 2. GRID: 15/16 WIDE, PRE-FINISHED T-BAR, WHITE, NON-RATED, 24x48 UNO.
 - 3. TILE: 24x48, NON-RATED, ACOUSTIC, WHITE, FISSURED, MATCH EXISTING.
 - B. INSTALLATION:
 - 1. INSTALL SUSPENDED CEILING IN ACCORDANCE WITH UBC CHAPTER 25, AND UBC STANDARD 25-2 (SEISMIC BRACING).
- 7. SOUND CONTROL: SEE WALL TYPES
 - A. PROVIDE FULL-THICK, FRICTION-FIT FIBERGLASS BATT INSULATION IN ALL NEW, FULL-HEIGHT WALLS AND DEMISING WALLS WHICH DO NOT ALREADY CONTAIN INSULATION.
 - B. LAY FRICTION-FIT FIBERGLASS BATTS ON TOP OF SUSPENDED CEILING FOR TWO FEET EACH SIDE OF NEW FULL-HEIGHT WALLS AND EXISTING DEMISING WALLS. DO NOT USE FOIL OR PAPER FACED BATTS. OMIT BATTS AT LIGHTING FIXTURES.
 - C. SILICONE SEAL ALL JOINTS OF WALLS INTERSECTING WINDOW MULLIONS.
- 8. WALL COVERINGS: NIC
- DIVISION 10: SPECIALTIES
- 1. FIRE EXTINGUISHER(S): EXISTING. NO CHANGE.
- 2. TOILET ROOM ACCESSORIES: MATCH EXISTING IN EXAM ROOMS
- 3. SIGNAGE: NIC
- 4. KNOX BOX: EXISTING. NO CHANGE.
- DIVISIONS 11-14: NOT USED
- DIVISION 15: MECHANICAL AND PLUMBING
- 1. GENERAL:
 - A. THE SCOPE OF MECHANICAL (HEATING, VENTILATING AND AIR CONDITIONAL/HVAC) AND PLUMBING WORK FOR THIS PROJECT IS MINOR. IT IS ASSUMED THAT NO DRAWINGS SHALL BE REQUIRED BY THE MOA. IF DRAWINGS ARE MANDATED BY THE MOA, THE MECHANICAL AND PLUMBING DESIGN(S) SHALL BE PROVIDED BY THE CONTRACTOR ON A DESIGN BUILD BASIS. REQUIRED DRAWINGS SHALL BE PREPARED BY AN ENGINEER LICENSED IN THE STATE OF ALASKA. SUBMIT DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 - B. MECHANICAL EQUIPMENT, DIFFUSERS, CONTROLS, ETC., IF SHOWN ON THE ARCHITECTURAL DRAWINGS, ARE EXISTING AND ARE DONE SO FOR CONVENIENCE ONLY. REFER TO MECHANICAL SHOP OR DESIGN/BUILD DRAWINGS FOR DETAILED INFORMATION.
- 2. HVAC:
 - A. ALL HVAC WORK SHALL BE IN ACCORDANCE WITH THE UNIFORM MECHANICAL CODE AS AMENDED BY THE MUNICIPALITY OF ANCHORAGE.
 - B. MODIFY EXISTING MECHANICAL SYSTEM TO PROVIDE VENTILATION AND AIR CONDITIONING TO ALL SPACES. SYSTEM SHALL BE CAPABLE OF MAINTAINING A RANGE OF TEMPERATURE BETWEEN 68 & 74 DEGREES FAHRENHEIT WITH OUTSIDE TEMPERATURES RANGING FROM -30F TO +80F.
 - C. ADD OR RELOCATE THERMOSTATS TO PROVIDE COOLING CONTROL TO EACH SEPARATE PERIMETER ZONE.
- 3. PLUMBING:
 - A. GENERAL:
 - 1. THE SCOPE OF PLUMBING WORK IS TO ADD NEW SINKS IN EXAM ROOMS. IT IS ASSUMED THAT PLUMBING EXISTS IN EACH LOCATION.
 - 2. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE AS AMENDED BY THE MUNICIPALITY OF ANCHORAGE.
 - 3. MODIFY EXISTING PLUMBING SYSTEM TO ACCOMMODATE NEW PLUMBING CONFIGURATION. TIE TO EXISTING PLUMBING STACKS AND VENTS.
 - 4. PROVIDE ALL NEW PIPE, FITTINGS & FIXTURES UNO.
 - B. FIXTURES: MATCH EXISTING
 - C. INSTALLATION:
 - 1. PROVIDE HOT AND COLD WATER TO ALL SINKS.
 - 2. INSULATE BOTH HOT AND COLD SUPPLY LINES
 - 3. INSULATE EXPOSED HOT WATER AND WASTE PIPING AT ACCESSIBLE SINKS. (SEE DIVISION 10.)
- 4. SPRINKLERS:
 - A. RE-CONFIGURE EXISTING SPRINKLER SYSTEM AND ADD OR RELOCATE HEADS AS REQUIRED FOR NEW WALL CONFIGURATION.
 - B. SPRINKLER SYSTEM MODIFICATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - C. SPRINKLERS, IF SHOWN ON THE ARCHITECTURAL DRAWINGS, ARE EXISTING AND ARE DONE SO FOR CONVENIENCE ONLY. REFER TO CONTRACTOR'S DRAWINGS.



DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

- D. TEST AND PROVIDE REPORT SHOWING NO DEFICIENCIES TO MOA AND OWNER AT COMPLETION OF WORK
- E. PROVIDE OWNER WITH AS-BUILT DRAWING(S) OF FINAL INSTALLATION.
- DIVISION 16: ELECTRICAL
- 1. GENERAL:
 - A. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AS AMENDED BY THE MUNICIPALITY OF ANCHORAGE.
 - B. THE ARCHITECTURAL DRAWINGS DESCRIBE THE LOCATION AND TYPE OF DEVICES AND FIXTURES AS THE SCOPE OF ELECTRICAL WORK FOR THIS PROJECT IS MINOR (PER ALASKA STATUTE 08.48.341).
 - C. THE ARCHITECTURAL FLOOR PLAN SHOWS DEVICES THAT ARE 'NEW ONLY' AS A CONVENIENCE TO THE CONTRACTOR. THE 'ALL ELECTRICAL' PLANS SHOWS NEW AND PROPOSED DEVICES. SINCE THE AREA OF WORK WAS OCCUPIED WHEN THE EXISTING DEVICES WERE AS-BUILT, IT MAY NOT HAVE BEEN POSSIBLE TO CONFIRM THAT ALL PREVIOUSLY EXISTING DEVICES STILL EXIST AND THAT PROPOSED NEW DEVICES ARE ACTUALLY NECESSARY. THE EXACT SCOPE OF WORK SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
 - D. THE NUMBER OF ELECTRICAL DEVICES BEING ADDED IS APPROXIMATELY THE SAME AS THE NUMBER PREVIOUSLY INSTALLED SO THE NET INCREASE TO THE ELECTRICAL LOAD IS NEGLIGIBLE. AS SUCH, THE CONTRACTOR SHALL ASSUME THAT NO ADDITIONAL DRAWINGS SHALL BE REQUIRED BY THE MOA, DESPITE THE MINOR NATURE OF THE WORK. DRAWINGS MAY STILL BE REQUIRED BY THE MOA. IF THIS OCCURS, THE ELECTRICAL DESIGN SHALL BE PROVIDED BY THE CONTRACTOR ON A DIRECT COST BASIS TO THE OWNER. REQUIRED DRAWINGS SHALL BE PREPARED BY AN ENGINEER LICENSED IN THE STATE OF ALASKA. SUBMIT DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
 - E. NEW AND RELOCATED FIXTURES ON CEILING PLAN ARE SHOWN SHADED. OTHERS ARE EXISTING.

- 2. SCOPE OF WORK:
 - A. MODIFY EXISTING ELECTRICAL SYSTEM TO PROVIDE POWER AND LIGHTING AS SHOWN ON PLANS. NOTE: ALL SERVICE EQUIPMENT, INCLUDING PANELBOARDS ARE EXISTING AND ARE TO REMAIN AND BE REUSED.
 - B. ALL TELEPHONE AND DATA CABLEING, CONNECTORS AND COVER PLATES AND INSTALLATION IS THE RESPONSIBILITY OF TENANT. THE CONTRACTOR IS ONLY RESPONSIBLE FOR PROVIDING EMPTY CONDUITS AND JUNCTION BOXES AS INDICATED ON THE PLAN.
 - C. ELECTRICAL WORK FOR WORK STATIONS PROVIDED BY TENANT IS LIMITED TO ROUGH-IN OF BOXES IN WALLS. AFTER RELOCATION OF SYSTEMS FURNITURE, TENANT MAY CONTRACT WITH THE ELECTRICAL CONTRACTOR TO CONNECT AND WIRE FURNISHINGS; THIS WORK WILL BE DONE UNDER A SEPARATE AGREEMENT WITH TENANT.
- 3. MATERIALS:
 - A. PROVIDE ALL NEW ELECTRICAL DEVICES, FIXTURES, WIRING, TRIM, ETC. EXCEPT:
 - 1. RE-USE ELECTRICAL PANELS, BOXES AND CONDUIT, IF PRACTICAL.
 - 2. CLEAN, RE-LAMP AND RE-USE LIGHT FIXTURES.
 - B. MATCH COLOR OF EXISTING DEVICES AND COVER PLATES.
- 4. INSTALLATION:
 - A. RECONNECT EXISTING EQUIPMENT TO BE REUSED.
 - B. RE-CIRCUIT AS NECESSARY FOR NEW ITEMS AND TO MAINTAIN REMAINING ITEMS OPERATIONAL.
 - C. PROVIDE SEISMIC BRACING FOR ALL FIXTURES, EXISTING, NEW AND RELOCATED.
 - D. TERMINATE DATA AND PHONE CONDUITS IN A 90 DEGREE BEND ABOVE THE SUSPENDED CEILING. FACTORY END UP. CABLEING, CONNECTORS AND COVER PLATES SHALL BE PROVIDED BY THE TENANT.
 - E. ADJUST FIRE ALARMS, EMERGENCY LIGHTS AND NIGHT LIGHTS AS DICTATED BY NEW WALL ARRANGEMENT.

- 5. FIXTURES:
 - A. 24x48, 277 VOLT, 3-TUBE FLOURESCENT TROUFFER. MATCH EXISTING.
 - X. EXIT SIGN: ILLUMINATED, LED, CEILING OR WALL MOUNTED PER LEGEND, WITH ARROWS AS APPROPRIATE. MATCH EXISTING.
 - EL. EMERGENCY LIGHT: DUAL HEAD, WALL OR CEILING STANDARD LIGHTING CIRCUIT. MATCH EXISTING.
 - NL. NIGHT LIGHT (TO REMAIN ON AT ALL TIMES)
- 6. SWITCHING:
 - A. INDIVIDUALLY SWITCH EACH ROOM OR WORK AREA UNO. (WIRING MAY NOT BE SHOWN).
 - B. RELOCATE SWITCHES AS NEEDED TO ACCOMMODATE NEW WALL LAYOUT.
- 7. FIRE PROTECTION:
 - A. ADD OR RELOCATE FIRE ALARM HORNS AND PULL STATIONS AS REQUIRED. TIE TO FIRE ALARM CONTROL PANEL.
 - B. PROVIDE A CURRENT SERVICE REPORT FOR EACH FIRE SYSTEM IN THE BUILDING. ALL DEFICIENCIES MUST BE CORRECTED PRIOR TO CALLING FOR CERTIFICATE OF OCCUPANCY.



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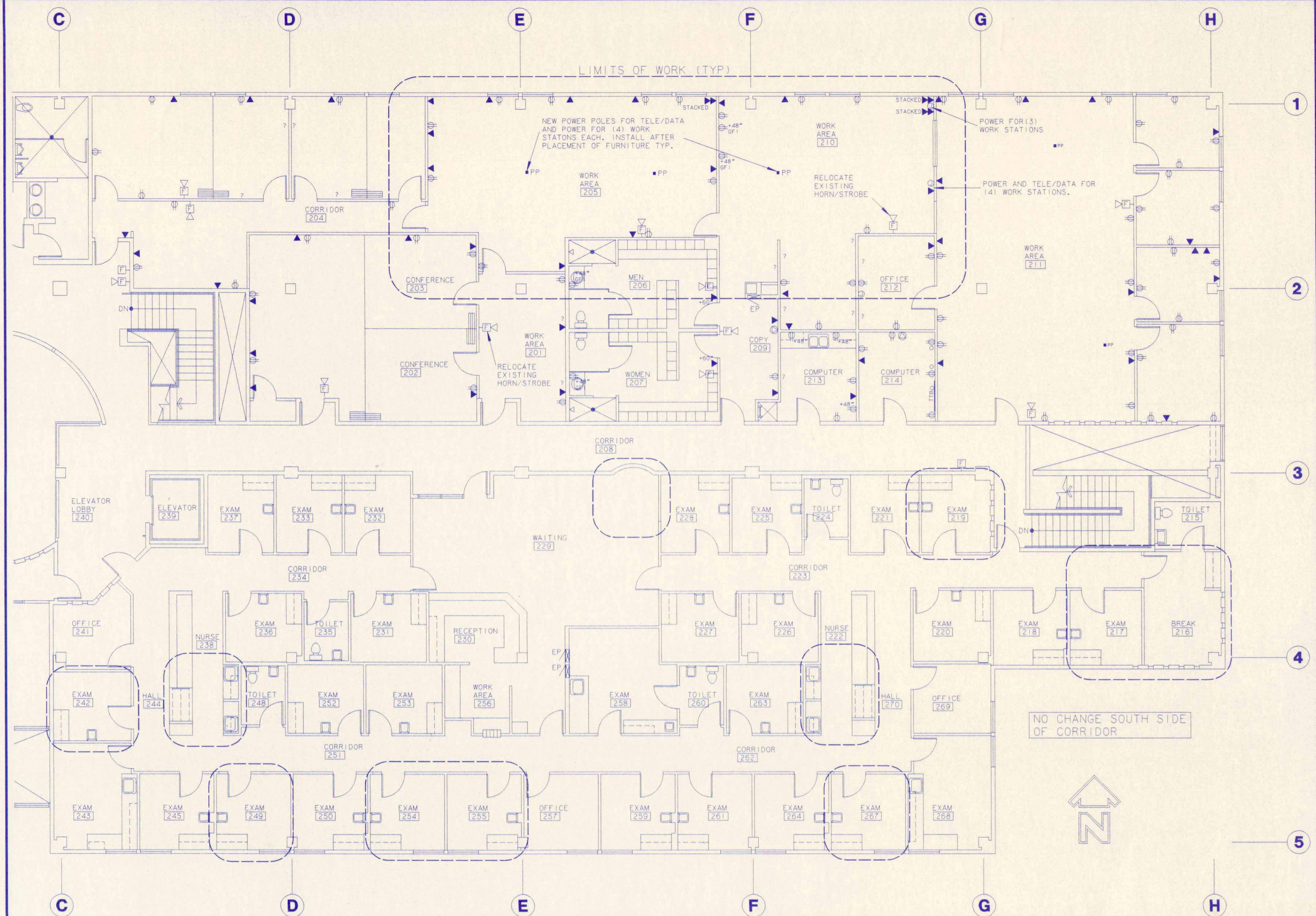
DEMOLITION PLAN & NOTES
 REMODELED OFFICES FOR:
SCF PRIMARY CARE CENTER
 PRIMARY CARE CENTER FLOOR 2
 PREPARED FOR COOK INLET PROPERTY MANAGEMENT

JOB NUMBER	WORK ORDER
98026	990818
DRAWN	BY
08/10/99	CWR
REVISED	

Architects
Don Dwiggins Associates
 1401 West 34th Ave., Anchorage, Alaska 99503 (907)274-1643

FLOOR 2
TI
A-3

NOTES



'ALL ELECTRICAL' PLAN

NOTE: ALL ELECTRICAL IS SHOWN. SEE DRAWING T1-A1 FOR 'NEW ONLY' ELECTRICAL PLAN.

SCALE: 1/8"=1'-0"



CIRI

'ALL ELECTRICAL' PLAN & NOTES
 REMODELED OFFICES FOR:
SCF PRIMARY CARE CENTER
 PRIMARY CARE CENTER FLOOR 2
 PREPARED FOR COOK INLET PROPERTY MANAGEMENT

JOB NUMBER	98026	WORK ORDER	990818
DRAWN	09/10/99	BY	CWR
REVISED			

Don Dwiggins Associates
 Architects
 1401 West 34th Ave. Anchorage, Alaska 99503 (907)274-7643

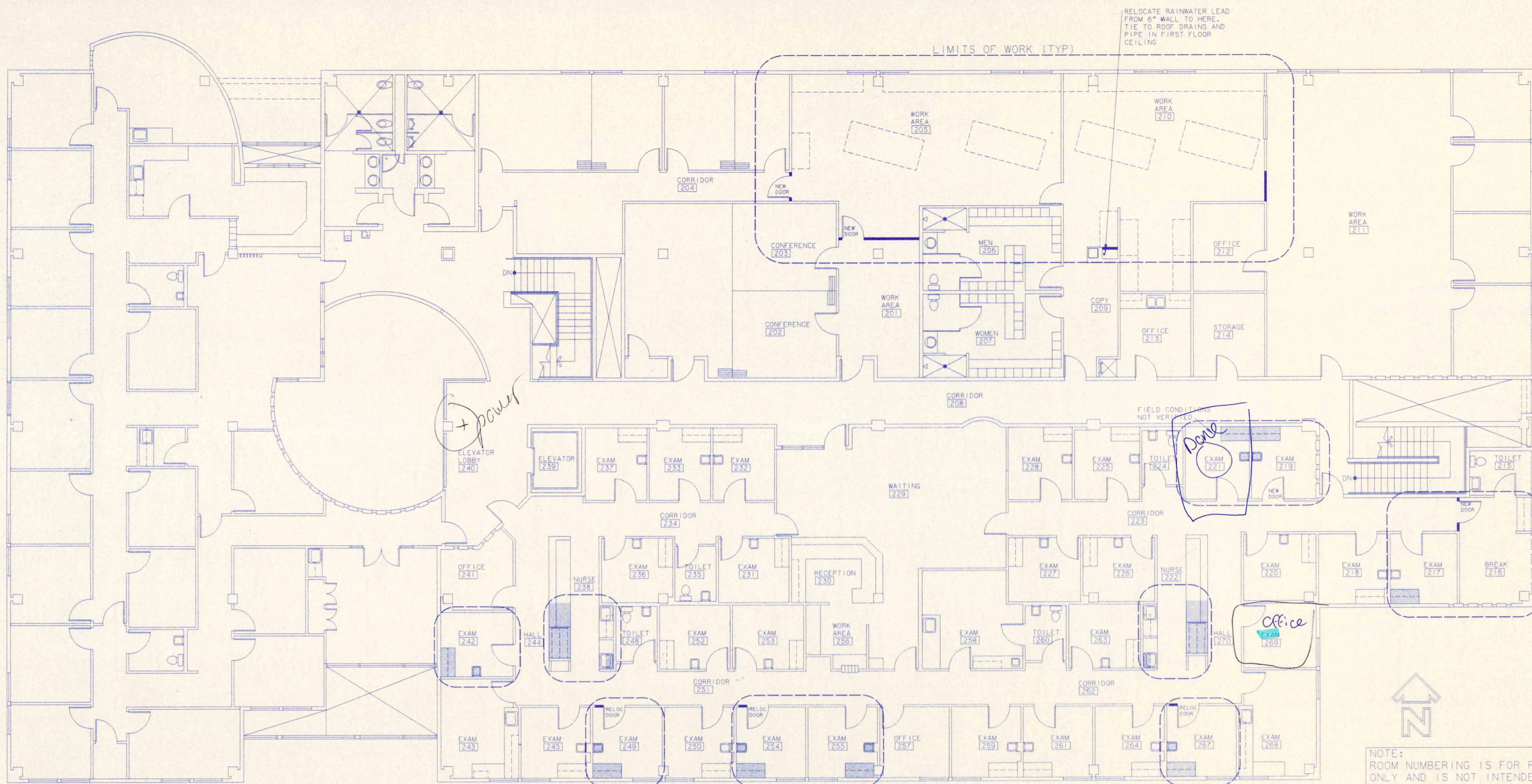
FLOOR 2
T1
A-4

NOTES ON FURNISHINGS AND ROOM NUMBERING

1. DASHED LINES INDICATE PROBABLE WORK AREAS, SHELVING OR EQUIPMENT PROVIDED BY TENANT. EXACT LAYOUT TO BE DETERMINED BY TENANT.
2. FURNISHINGS, IF SHOWN, ARE FOR ILLUSTRATING THE USE OF THE SPACE. ALL FURNITURE SHALL BE PROVIDED BY THE TENANT.
3. ONLY CASEWORK SHOWN SHADED IS INCLUDED IN THE TENANT IMPROVEMENTS FOR THIS PROPOSED SPACE PLAN.
4. ROOM NUMBERS ARE FOR REFERENCE THIS PROJECT ONLY AND DO NOT NECESSARILY CORRESPOND TO BUILDING NUMBERING SYSTEM.

APPROVED BY:

SIGNED _____
 BY (PRINTED NAME) _____
 SCF PRIMARY CARE CENTER
 DATE _____



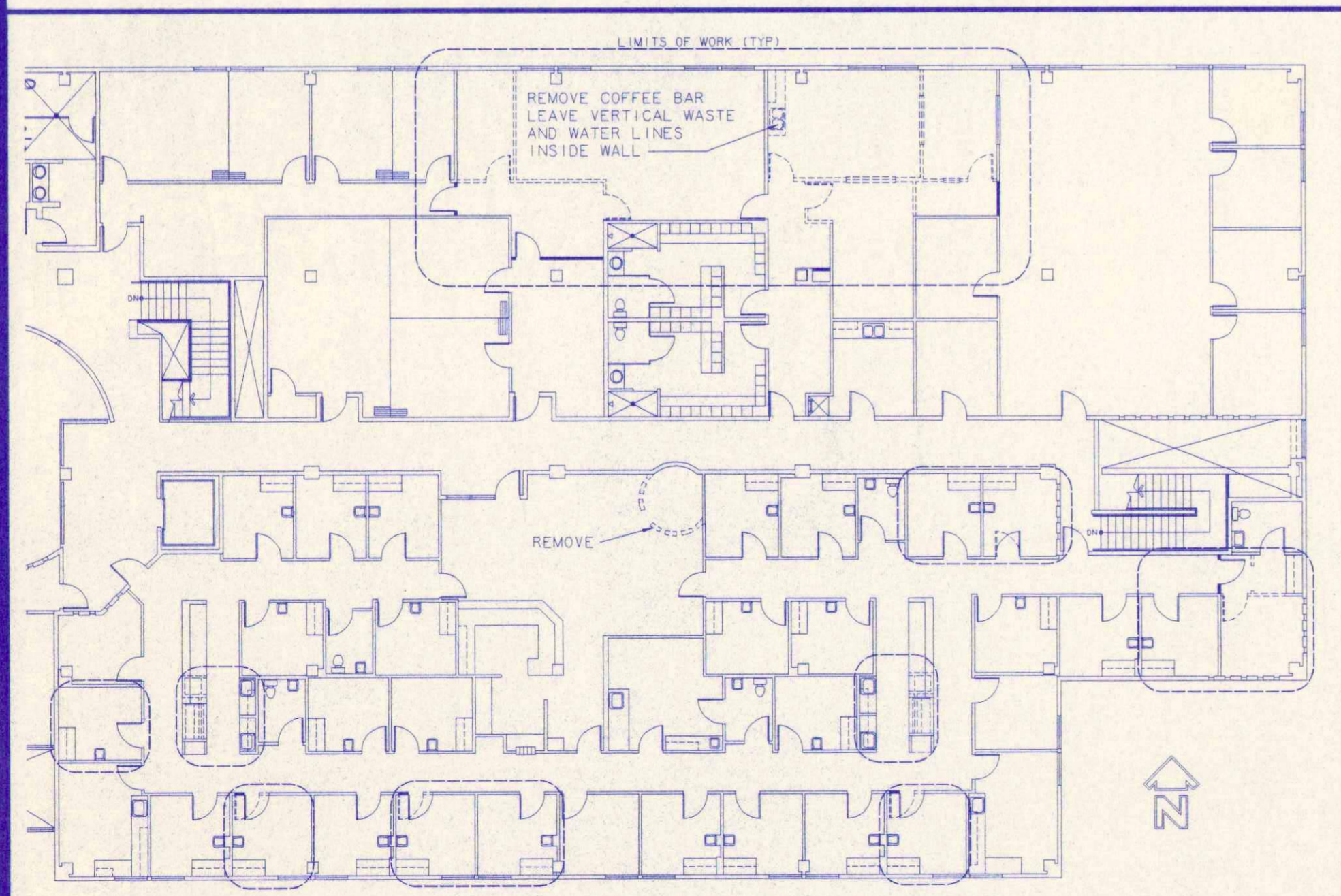
NOTE:
 ROOM NUMBERING IS FOR REFERENCE ONLY AND IS NOT INTENDED TO REPRESENT OR REPLACE EXISTING DESIGNATIONS.

CIRI

SCHEMATIC FLOOR PLAN
 NEW OFFICES FOR:
SCF PRIMARY CARE CENTER
 PRIMARY CARE CENTER FLOOR 2
 PREPARED FOR COOK INLET PROPERTY MANAGEMENT

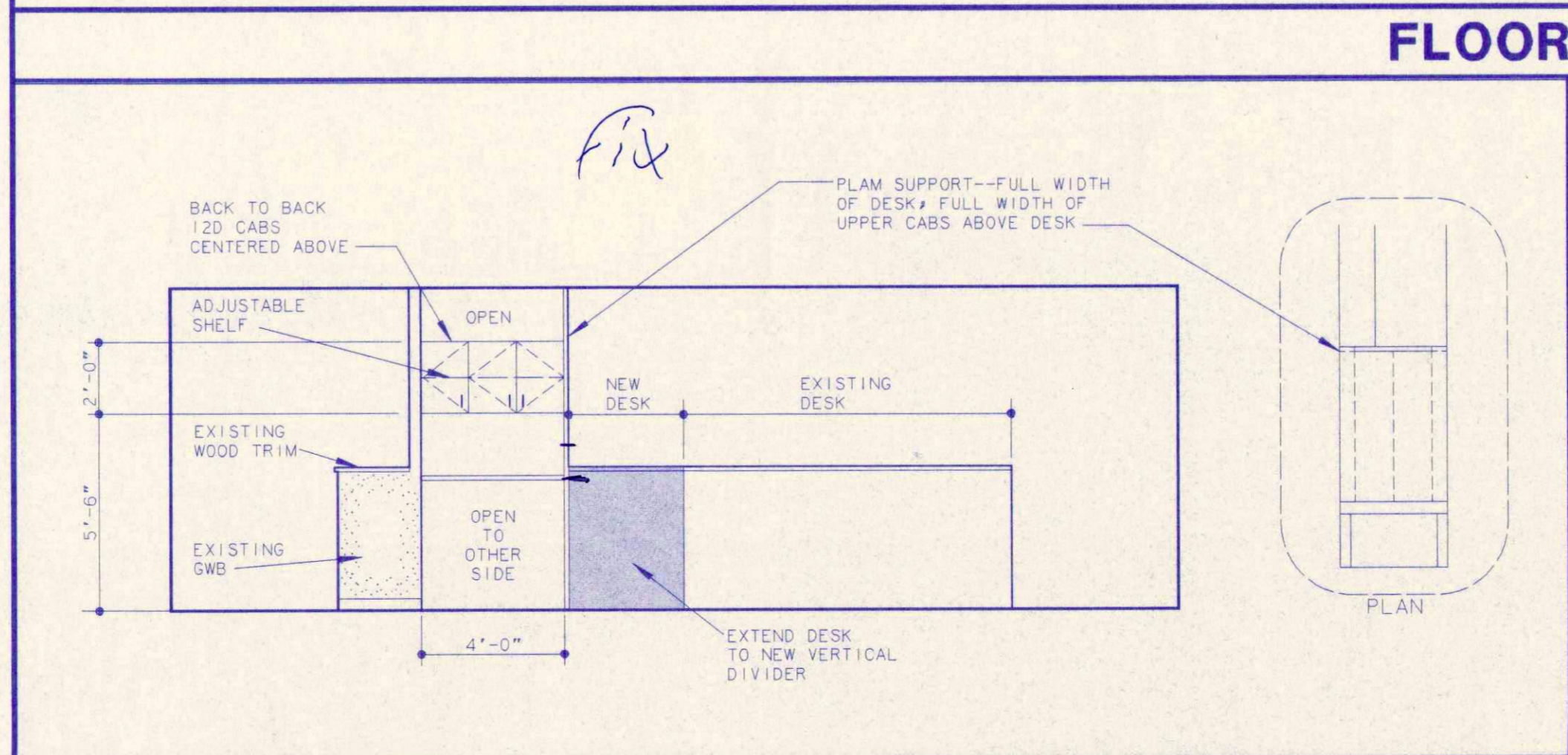
JOB NUMBER	98026	WORK ORDER	990818
DRAWN	08/26/1999	BY	CWR
REVISED			

**NEW OFFICES FOR:
 SCF PRIMARY CARE CENTER
 PRIMARY CARE CENTER, FLOOR 2**



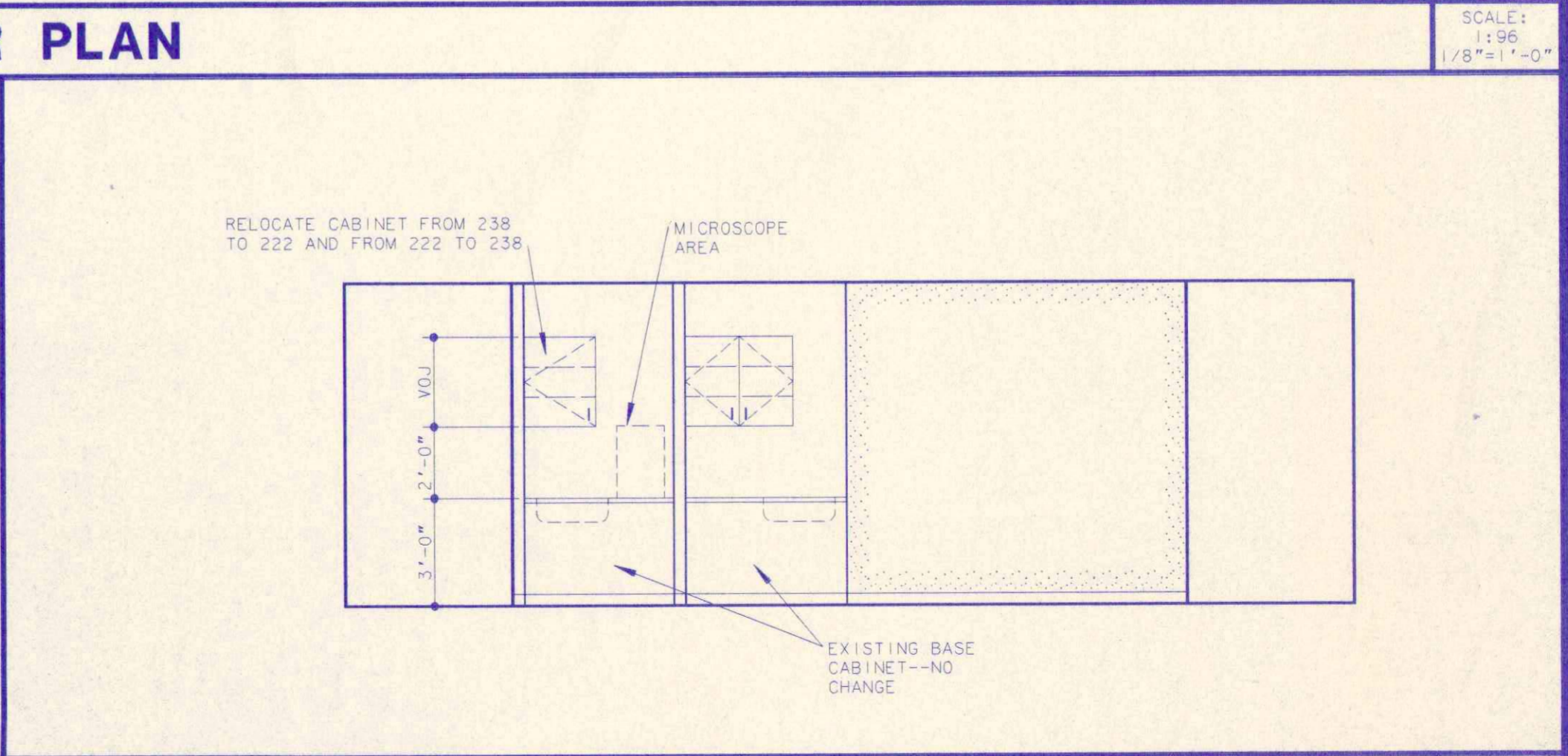
DEMOLITION & NEW PLAN

SCALE:
 1:192
 1/16"=1'-0"



ELEVATION--EAST 244 & WEST 270

SCALE:
 1:48
 1/4"=1'-0"



ELEVATION--EAST 238 & WEST 222

SCALE:
 1:48
 1/4"=1'-0"

Don Dwiggin Associates
 Architects
 1401 West 34th Ave., Anchorage, Alaska 99503 (907) 274-7643

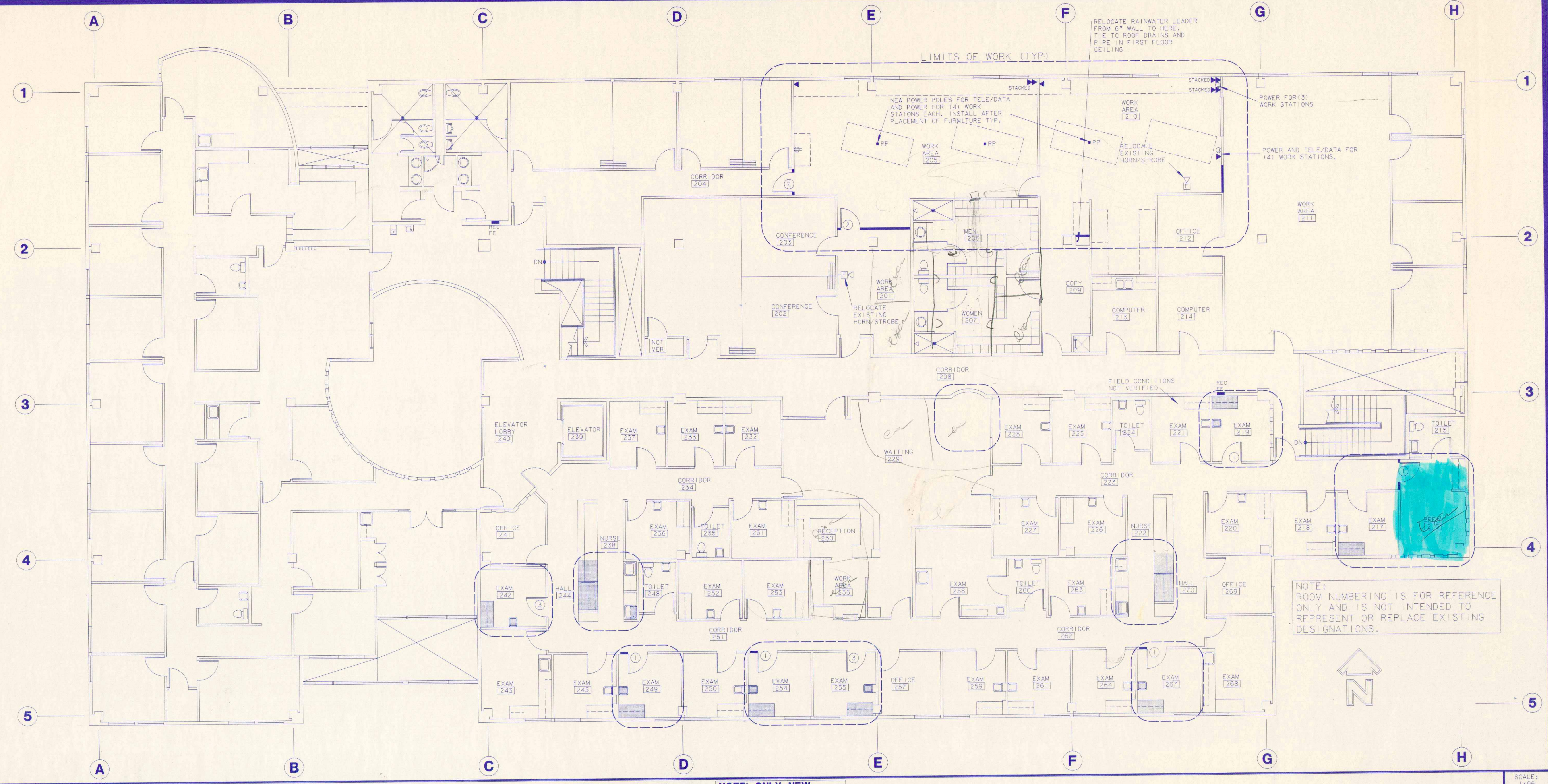
FLOOR 2
SK-1



CIRI

PLAN, DETAILS, SCHEDULES & DATA
REMODELED OFFICES FOR:
SCF PRIMARY CARE CENTER
PRIMARY CARE CENTER FLOOR 2
PREPARED FOR COOK INLET PROPERTY MANAGEMENT

JOB NUMBER	WORK ORDER
98026	990818
DRAWN	BY
09/10/99	CWR
REVISED	



FLOOR PLAN NOTE: ONLY NEW ELECTRICAL IS SHOWN. SEE DRAWING T1-A4 FOR 'ALL ELECTRICAL' PLAN.

SCALE: 1/8"=1'-0"

DOOR SCHEDULE

ID	TYPE	WIDTH	HT	THICK	RATING	HARDWARE	NOTES
1	A	3-0	6-8	1-3/4	---	1	3,4
2	A	3-0	6-8	1-3/4	---	2	2,3,4
3	A	3-0	6-8	1-3/4	---	3	2,3,4,5

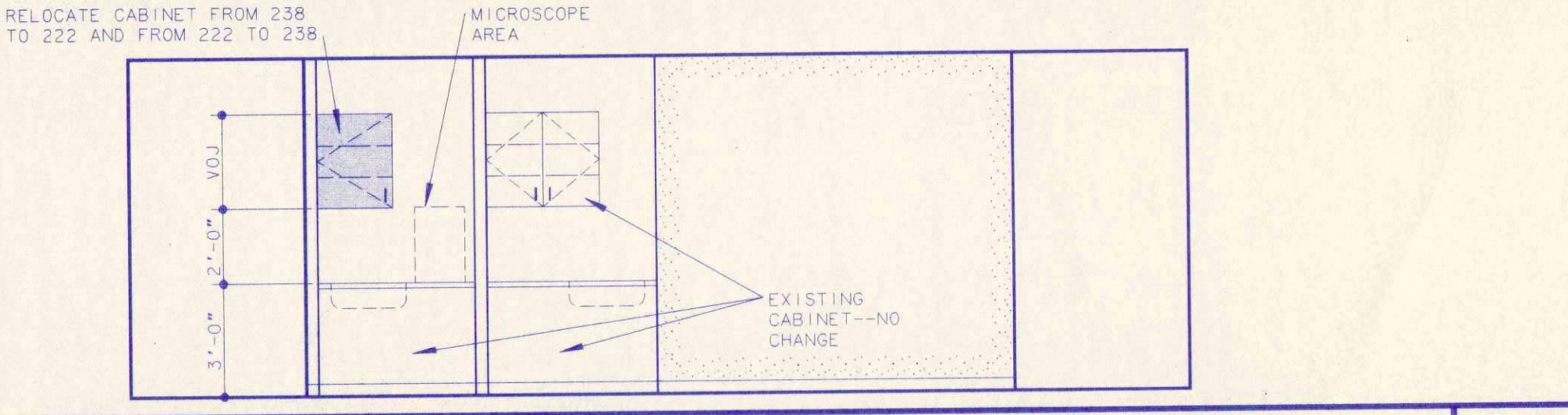
DOOR NOTES

- UNLABELED DOORS ARE EXISTING.
- VERIFY KEYING WITH MANAGER.
- MATCH EXISTING HARDWARE FINISH.
- 20 MIN DOOR EVEN IF NOT RATED ASSEMBLY.
- EXISTING DOOR TO REMAIN, MODIFY AS NOTED.

WALL TYPE LEGEND

--- EXISTING, REFINISH AS REQUIRED.
 - - - - EXISTING TO BE REMOVED

3-5/8" METAL STUDS AT 24" OC, 5/8 GWB EACH SIDE, TERMINATE AT SUSPENDED CEILING, FULL THICK BATTS IN STUD CAVITIES.

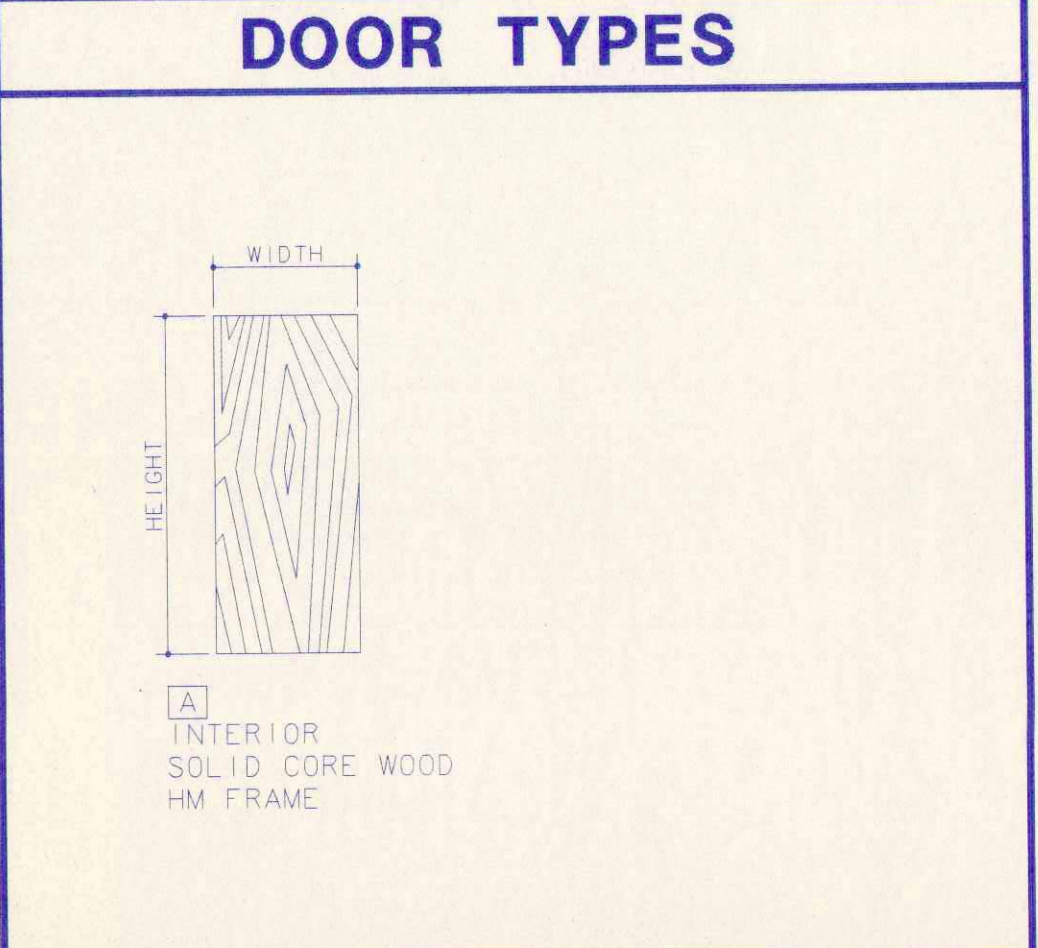


ELEVATION--EAST 238 & WEST 222

SCALE: 1/4"=1'-0"

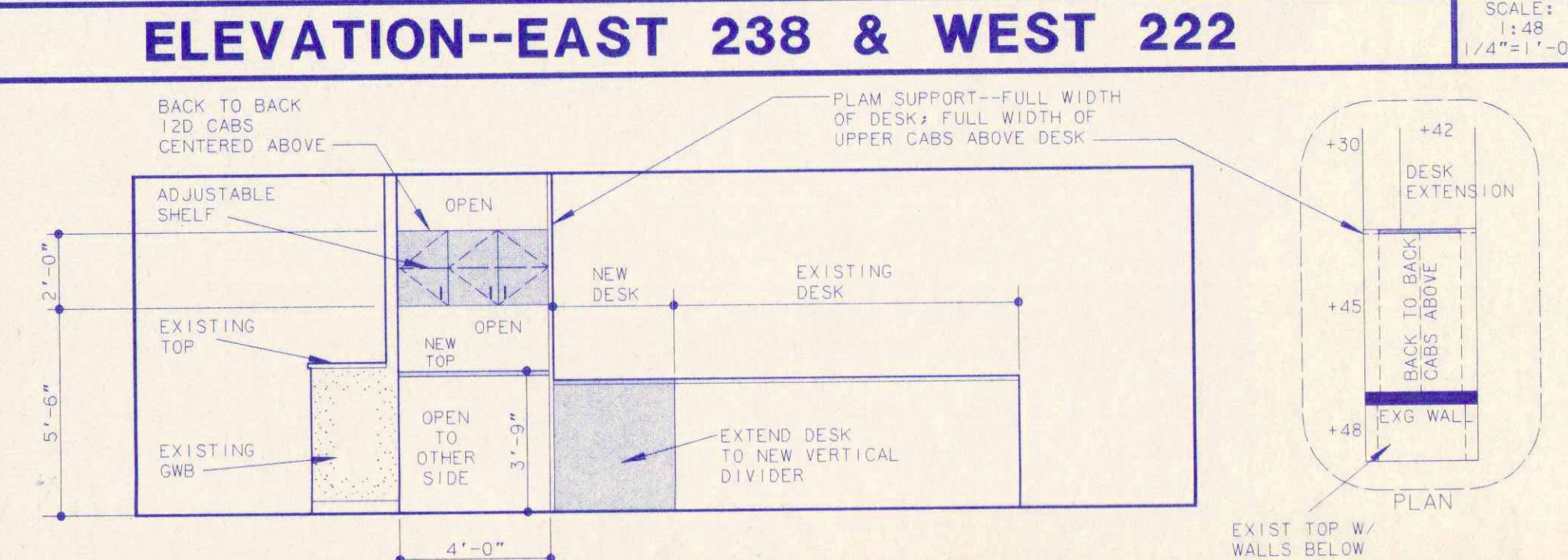
HARDWARE SCHEDULE

	GROUP		
	1	2	3
PASSAGE LATCHSET			
LOCKSET			
(3) BUTT HINGES (EACH LEAF)			
CLOSER			
WALL STOP			
SILENCERS			



APPROVED BY:

SIGNED _____
 BY (PRINTED NAME) _____
 SCF PRIMARY CARE CENTER
 DATE _____



ELEVATION--EAST 244 & WEST 270

SCALE: 1/4"=1'-0"

PROJECT DATA

GENERAL:
 PROJECT NAME: SOUTH CENTRAL FOUNDATION
 PROJECT ADDRESS: 4320 DIPLOMACY DRIVE ANCHORAGE, AK 99504
 OWNER: COOK INLET REGION INC
 LEGAL DESCRIPTION: TRACT C2, TUDOR CENTER
 TENANT: SOUTH CENTRAL FOUNDATION
 ARCHITECT FILE NO: 98026
 PERMIT #: 99-
 PARKING: NO CHANGE

BUILDING ANALYSIS:
 FLOORS: 2 OF A TOTAL OF 2
 CONSTRUCTION: TYPE II, NON-RATED
 OCCUPANCY: B (GENERAL OFFICE)
 ALARMED: YES, MANUAL/SUPERVISED
 SPRINKLED: YES
 OCCUPANT LOAD: NO CHANGE

NOTE TO PLAN REVIEWER:
 THIS PROJECT COVERS MINOR REMODELING TO AN EXISTING BUILDING. ALL EXISTING PATTERNS AND THE OCCUPANT LOAD AND BASICALLY UNCHANGED.

Don Dwiggins Associates
 Architects
 1401 West 34th Ave., Anchorage, Alaska 99503 (907)274-1643

FLOOR 2
TI A-1

