

CERTIFICATE OF OWNERSHIP & DEDICATION

I (WE), HEREBY CERTIFY THAT I (WE) HOLD THE HEREIN SPECIFIED PROPERTY INTEREST IN THE PROPERTY DESCRIBED HEREON. THERE SHALL BE RESERVED ADJACENT TO THE DEDICATED STREETS SHOWN HEREON A SLOPE RESERVATION EASEMENT SUFFICIENT TO CONTAIN CUT AND FILL SLOPES OF 1.5 FEET HORIZONTAL FOR EACH ONE FOOT VERTICAL (1.5 TO 1) OF CUT OR FILL FOR THE PURPOSE OF PROVIDING AND MAINTAINING THE LATERAL SUPPORT OF THE CONSTRUCTED STREETS. THERE IS RESERVED TO THE GRANTORS, THEIR HEIRS, SUCCESSORS AND ASSIGNS, THE RIGHT TO USE SUCH AREAS AT ANY TIME UPON PROVIDING AND MAINTAINING OTHER ADEQUATE LATERAL SUPPORT, AS APPROVED BY THE MUNICIPALITY.

I (WE) HEREBY AGREE TO THIS PLAT, AND TO ANY RESTRICTION OR COVENANT APPEARING HEREON AND ANY SUCH RESTRICTION OR COVENANT SHALL BE BINDING AND ENFORCEABLE AGAINST PRESENT AND SUCCESSIVE OWNERS OF THIS SUBDIVIDED PROPERTY.

OWNER:

ALASKA AREA NATIVE HEALTH SERVICE
PO BOX 7-741
ANCHORAGE, AK 99510-7063
BY:

PRINTED NAME _____ TITLE _____

SIGNATURE _____ DATE _____

NOTARY ACKNOWLEDGMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____ 20____ PURSUANT TO ITS BY-LAWS OR A RESOLUTION OF ITS BOARD OF DIRECTORS.

PERSONALLY APPEARED _____

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

TAX CERTIFICATION

ALL REAL PROPERTY TAXES LEVIED BY THE MUNICIPALITY OF ANCHORAGE ON THE AREA SHOWN ON THIS PLAT HAVE BEEN PAID IN FULL, AND IF APPROVAL IS SOUGHT BETWEEN JANUARY 1 AND THE TAX DUE DATE, THERE IS ON DEPOSIT WITH THE CHIEF FISCAL OFFICER, AN AMOUNT SUFFICIENT TO PAY ESTIMATED REAL PROPERTY TAX FOR THE CURRENT YEAR.

AUTHORIZED OFFICIAL _____ DATE _____

ACCEPTANCE AND DEDICATION BY MUNICIPALITY OF ANCHORAGE

THE MUNICIPALITY OF ANCHORAGE HEREBY ACCEPTS FOR PUBLIC USES AND FOR PUBLIC PURPOSES THE REAL PROPERTY DEDICATED ON THIS PLAT, INCLUDING BUT NOT LIMITED TO EASEMENTS, RIGHTS OF WAY, ALLEYS, ROADWAYS, THOROUGHFARES AND PARKS SHOWN HEREON.

MUNICIPAL CLERK _____ DATE _____

MAYOR _____ DATE _____

PLAT APPROVAL

PLAT APPROVED BY THE ANCHORAGE PLATTING AUTHORITY THIS _____ DAY OF _____, 20____

AUTHORIZED OFFICIAL _____

APPROVALS

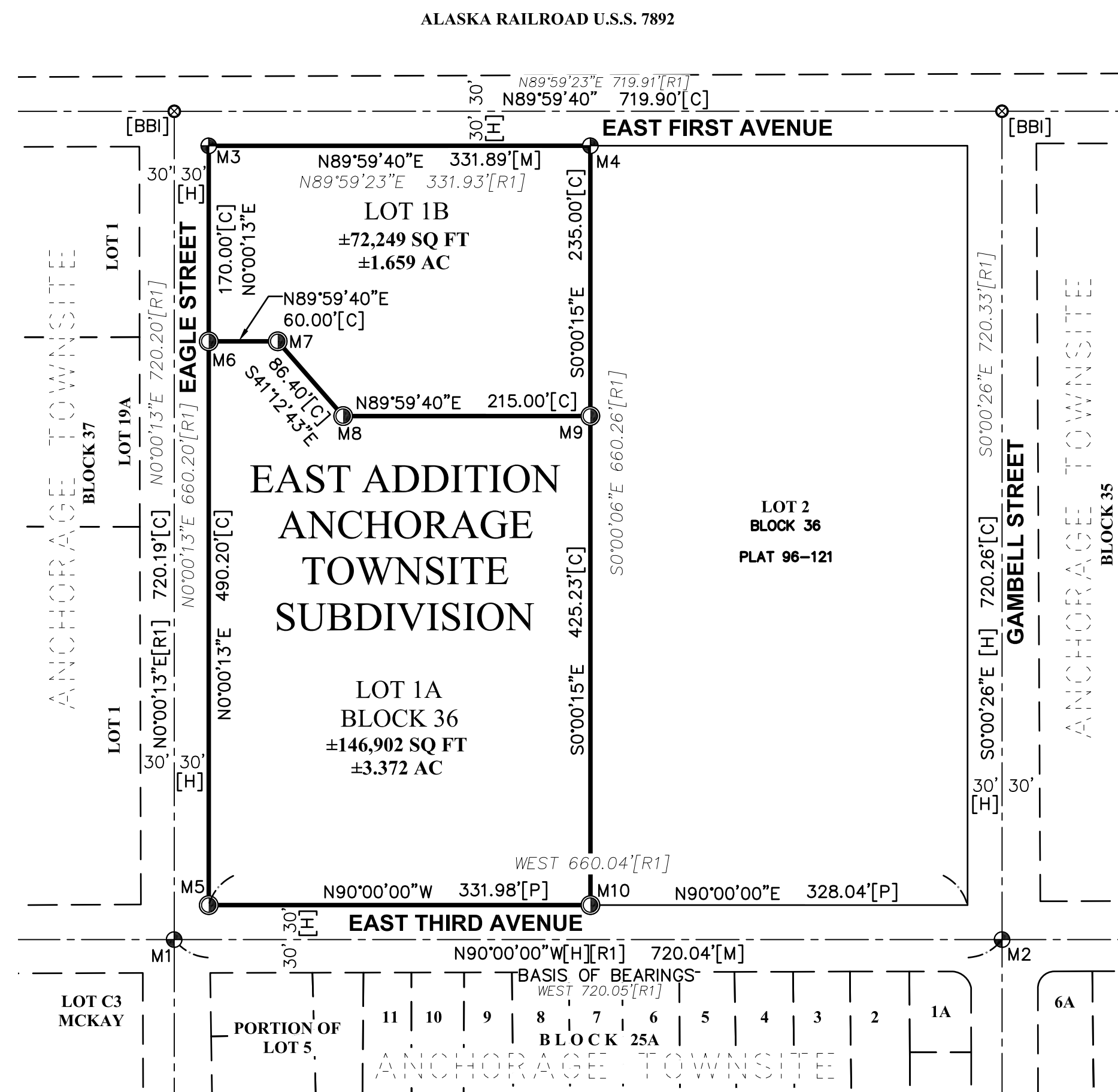
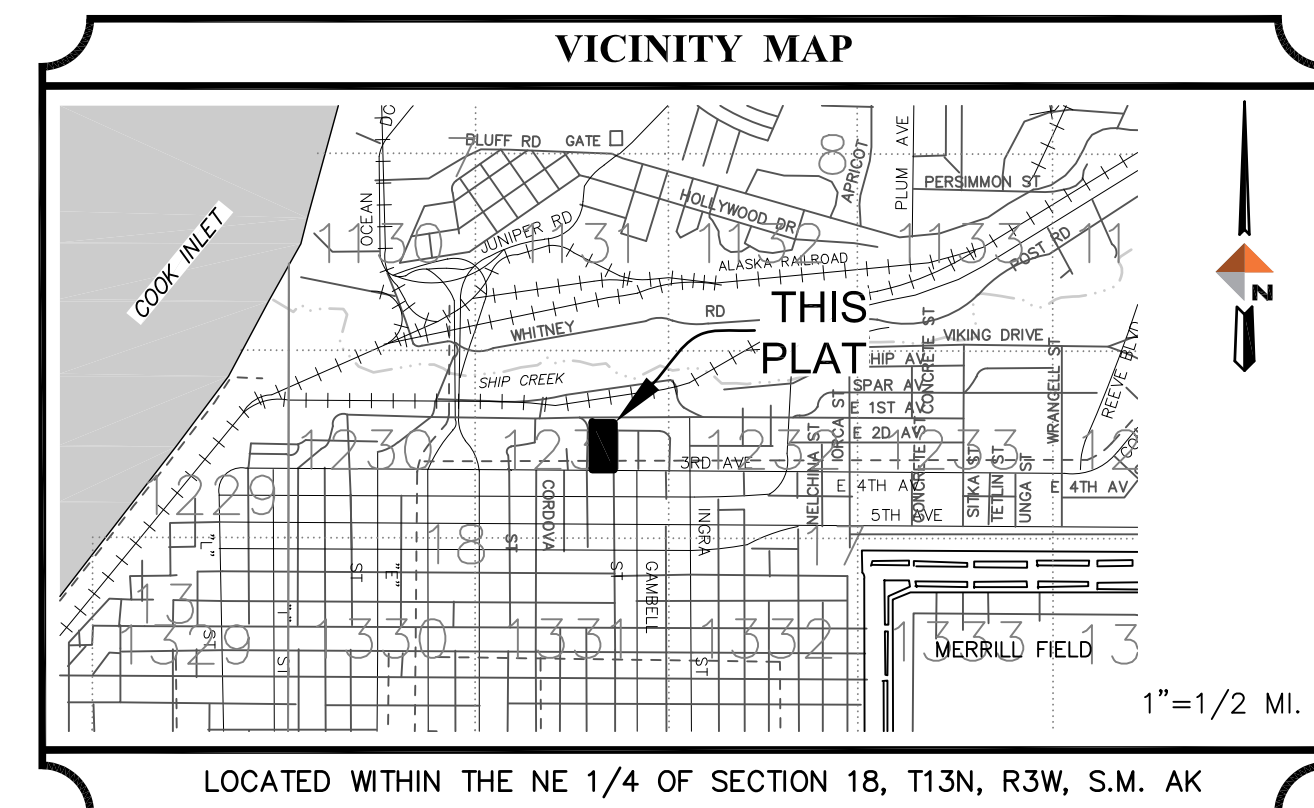
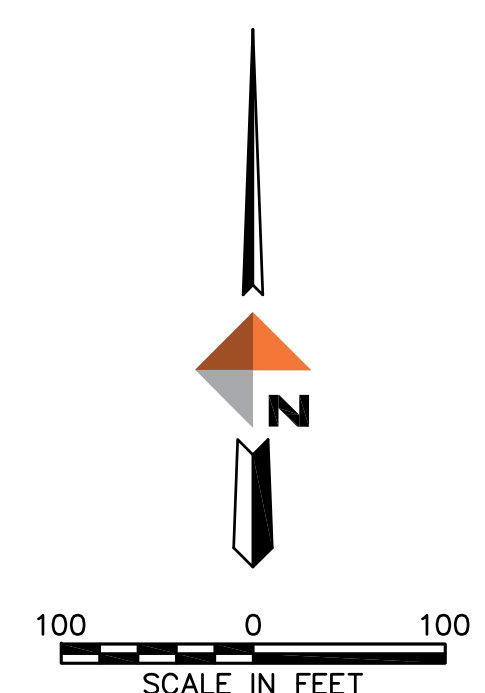
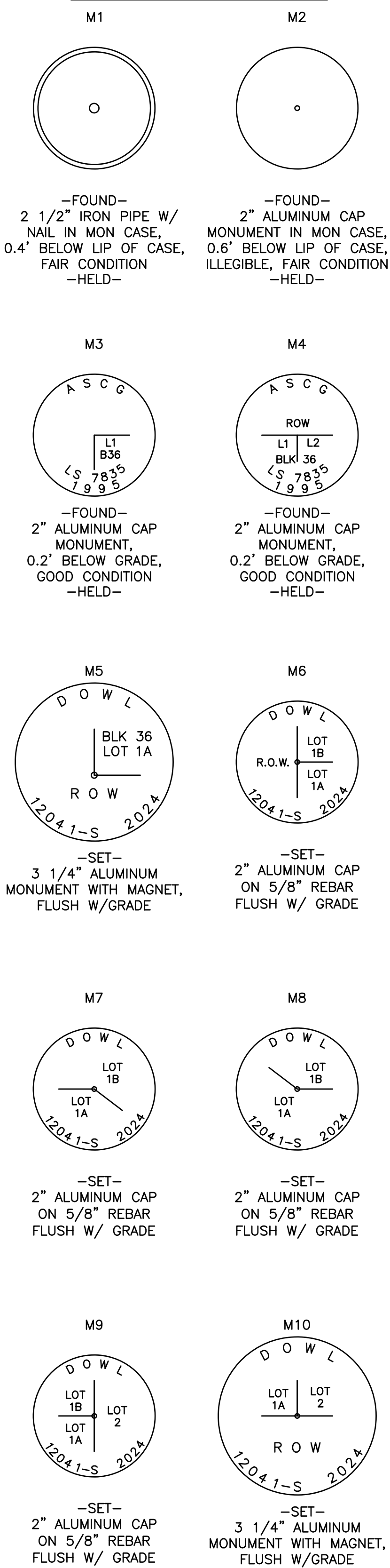
PLATTING OFFICER _____ DATE _____

MUNICIPAL SURVEYOR _____ DATE _____

SURVEYOR'S CERTIFICATE

I, A. WILLIAM STOLL, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAT OF THE LOT 1A & 1B, BLOCK 36 EAST ADDITION ANCHORAGE TOWNSITE SUBDIVISION IS A TRUE AND CORRECT REPRESENTATION OF LANDS ACTUALLY SURVEYED AND THAT THE DISTANCES AND BEARINGS ARE SHOWN CORRECTLY AND THAT ALL PERMANENT EXTERIOR CONTROL MONUMENTS, ALL OTHER MONUMENTS, AND LOT CORNERS HAVE BEEN SET AND STAKED, OR IF FINAL COMPLETION IS ASSURED BY SUBDIVISION AGREEMENT, THEY WILL BE SET AS SPECIFIED IN SAID SUBDIVISION AGREEMENT. LOT CORNERS TO BE SET BY N/A, MONUMENTS TO BE SET BY N/A.

MONUMENT SUMMARY



LEGEND

- FOUND MONUMENT AS DESCRIBED
- ⊙ SET CORNER AS DESCRIBED
- ⊙ COMPUTED POINT - NOTHING SET THIS SURVEY
- [BBI] BEARING BEARING INTERSECTION
- [M] MEASURED
- [C] COMPUTED
- [P] PROPORTIONED
- [H] HELD RECORD
- [R1] RECORD PER PLAT 96-121
- BOUNDARY LINE
- - - ADJACENT PROPERTY LINE
- · - · - RIGHT-OF-WAY CENTER LINE
- · - · - EASEMENT LINE

PLAT NOTES

- ALL EASEMENTS, PERMITS, OR LICENSES SHOWN ON THIS PLAT THAT ARE REFERENCED BY A FEDERAL OR STATE CASE NUMBER; OR BY A RECORDING DISTRICT'S BOOK/VOLUME AND PAGE, OR SERIAL NUMBER WERE CREATED BY WRITTEN DOCUMENTS, AND ARE NOT DEDICATED BY THIS PLAT. DIMENSIONS AND BOUNDARY TIES SHOWN ON THIS PLAT FOR SAID EASEMENTS, PERMITS, OR LICENSES SHOULD ONLY BE USED FOR GENERAL INFORMATION. THE WRITTEN DOCUMENTS SHALL GOVERN THE LOCATION, CONTENT, AND INTENT.
- STREET RIGHT-OF-WAY WIDTHS SHOWN TO THE NEAREST FOOT REPRESENT ACTUAL DIMENSIONS TO THE NEAREST HUNDREDTH OF A FOOT (I.E. 30'=30.00').
- ALL BEARINGS SHOWN ARE TRUE BEARINGS AS ROTATED TO THE BASIS OF BEARINGS.
- THE PROPERTY OWNER AND UTILITIES SHALL NOT RAISE, LOWER, OR RE-GRADE THE PROPERTY IN A MANNER THAT WILL ALTER THE DRAINAGE PATTERNS WITHOUT PRIOR APPROVAL FROM MUNICIPALITY OF ANCHORAGE BUILDING SAFETY OFFICE.
- PROPERTY OWNERS AND UTILITIES SHALL NOT OBSTRUCT, IMPEDE, OR ALTER DRAINAGE FACILITIES (E.G. SWALES, DITCHES) IN ANY WAY THAT WILL ADVERSELY IMPACT ADJACENT PROPERTIES OR RIGHTS-OF-WAY.
- THIS PROPERTY IS SUBJECT TO AN EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF A ELECTRIC POWER DISTRIBUTION LINE TO BENEFIT CHUGACH ELECTRIC ASSOCIATION. SAID EASEMENT WAS FOR THE DURATION OF 50 YEARS AND WAS RECORDED NOVEMBER 30TH, 1970 IN BOOK 196, PAGE 366 AND IS NOT SHOWN HEREON.
- THIS PROPERTY IS SUBJECT TO AN EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF A ELECTRIC POWER DISTRIBUTION LINE TO BENEFIT CHUGACH ELECTRIC ASSOCIATION. SAID EASEMENT WAS FOR THE DURATION OF 50 YEARS AND WAS RECORDED NOVEMBER 30TH, 1970 IN BOOK 196, PAGE 366 AND IS NOT SHOWN HEREON.
- THIS PROPERTY IS SUBJECT TO A AERIAL EASEMENT FOR OVERHEAD ELECTRIC LINES TO BENEFIT THE MUNICIPAL LIGHT AND POWER, RECORDED AUGUST 29TH, 1996 IN BOOK 2995, PAGE 114. SAID EASEMENT DESCRIPTION IS ASSUMED TO HAVE AN ERROR IN ITS METES AND BOUNDS DESCRIPTION AND IS INTERPRETED TO BE AS SHOWN. THE POINT OF COMMENCEMENT FOR THE DESCRIPTION IS ASSUMED TO BE THE NORTHEAST CORNER OF BLOCK 36, NOT THE NORTHWEST AS WRITTEN.

SEE SHEET-2
FOR EASEMENT DETAIL

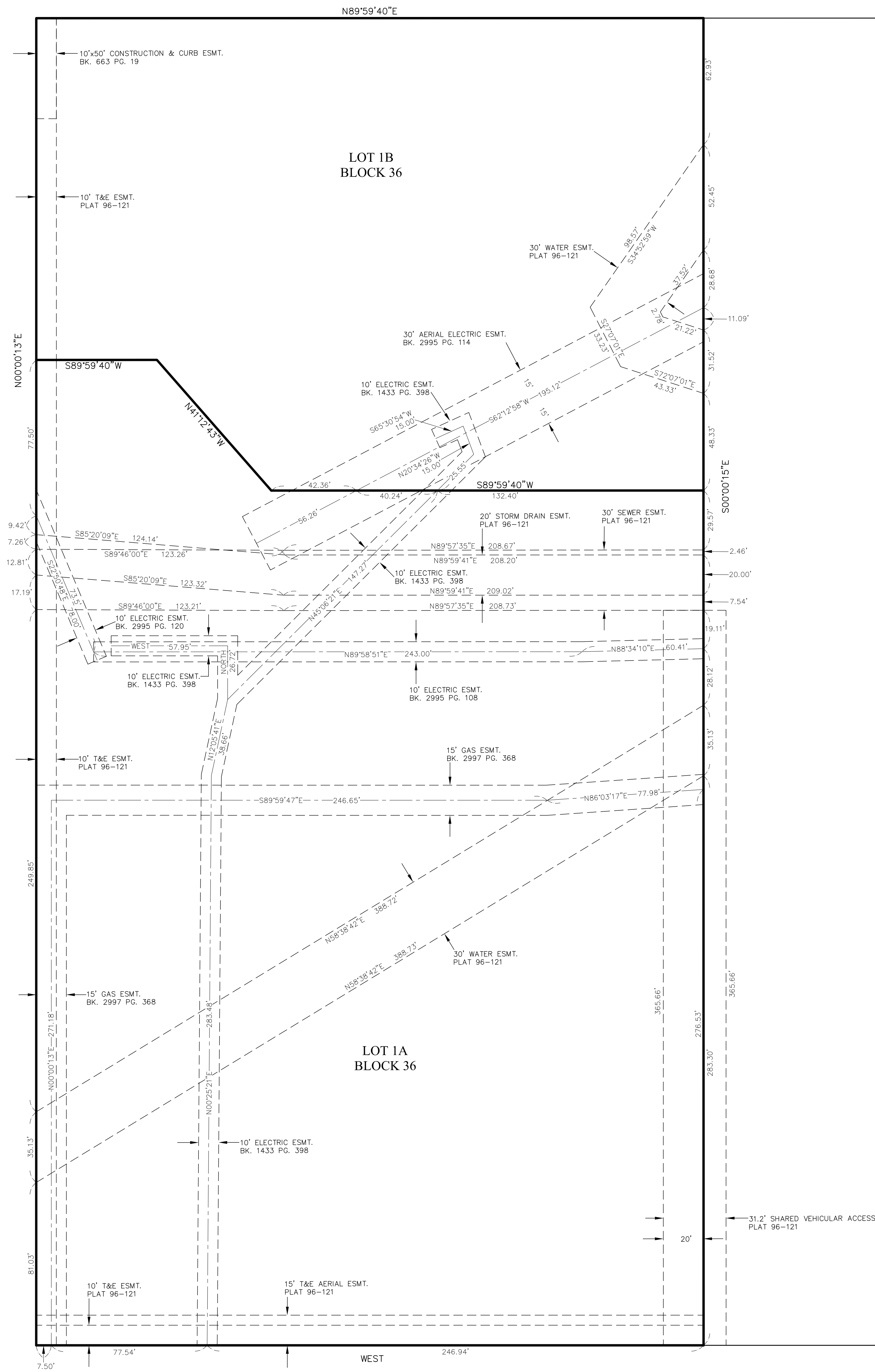


PLAT OF
**LOTS 1A AND 1B, BLOCK 36
EAST ADDITION ANCHORAGE
TOWNSITE SUBDIVISION**

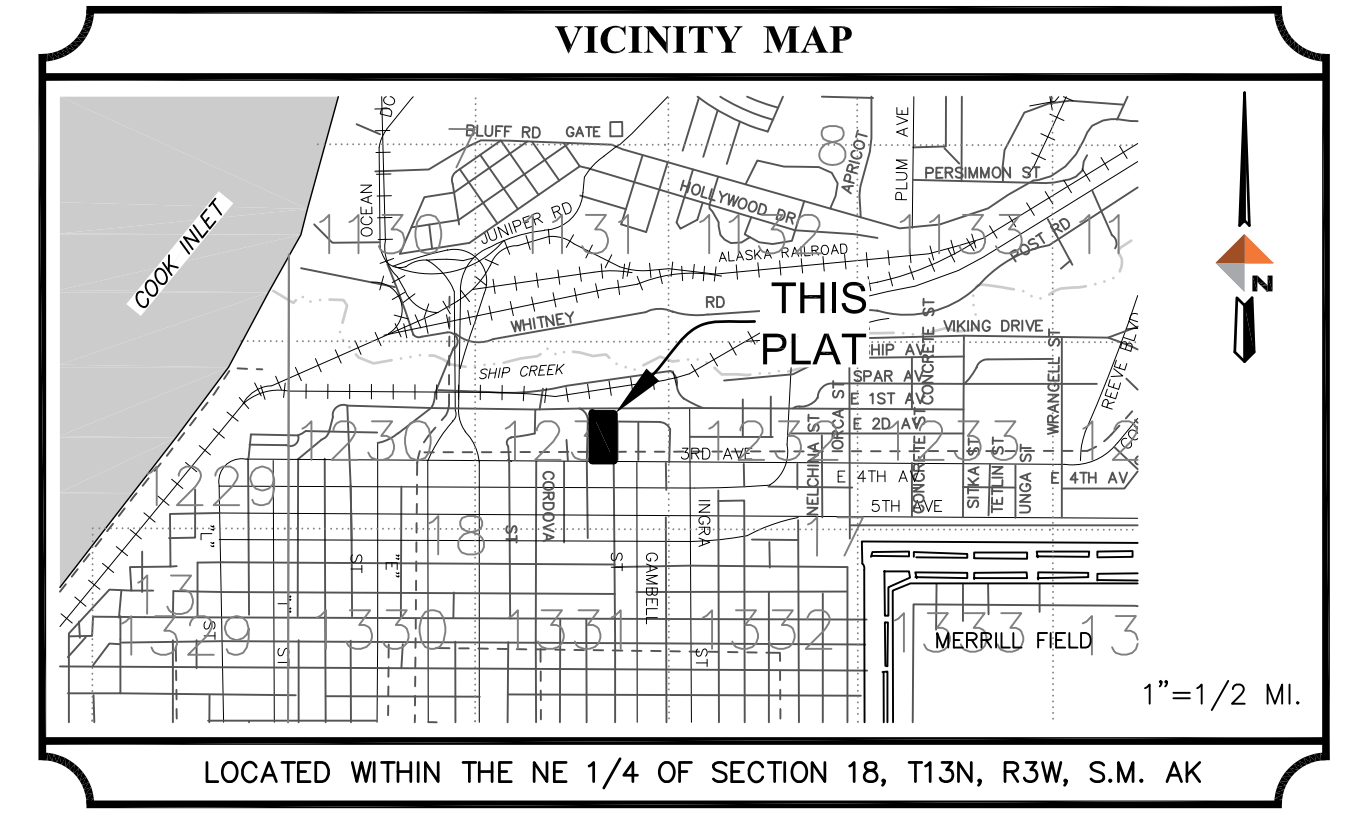
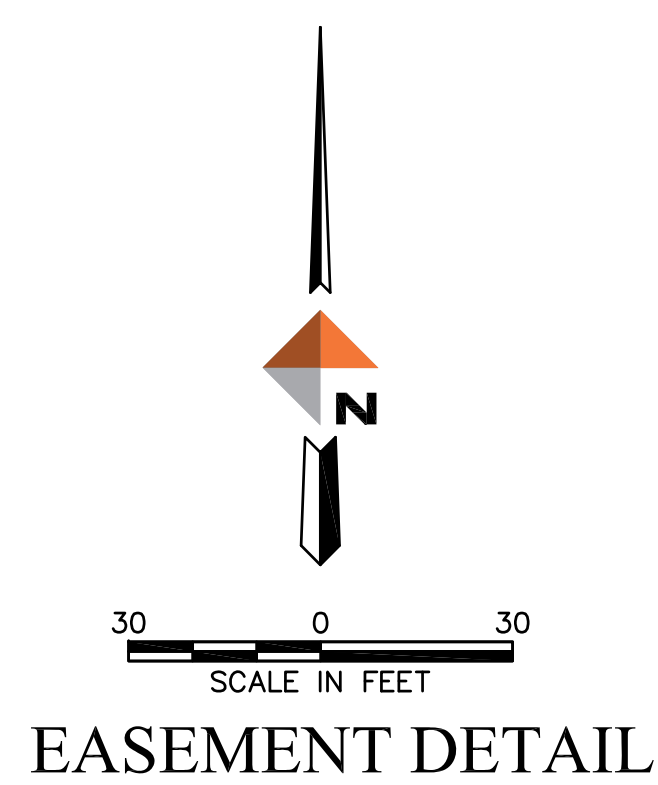
A 5.031 ACRE RESUBDIVISION OF LOT 1, LOTS 1 & 2 BLOCK 36 EAST ADD. ANCHORAGE TOWNSITE, PLAT NO. 96-121.

ANCHORAGE RECORDING DISTRICT,
THIRD JUDICIAL DISTRICT, STATE OF ALASKA.
LOCATED WITHIN
THE NE 1/4 OF SECTION 18, T13N, R3W, S.M. AK

AECL848	W.O: 1181.63764.01
5015 Business Park Boulevard, Suite 4000 Anchorage, Alaska 99503 907-562-2000	MOA CASE FILE NO: S12780
A. WILLIAM STOLL LS 12041	CERT/PLAT: FTA NO. F-91552
DATE OF DRAWING: 10/01/2024	DATE OF SURVEY: FEB 2024
DRAWN BY: AWS	CHECKED BY: MWD
SCALE: 1"=100'	FBK: 2724
GRID: SW 1231	SHEET 1 OF 2



LOT 2
BLOCK 36
PLAT 96-121



PLAT OF
**LOTS 1A AND 1B, BLOCK 36
EAST ADDITION ANCHORAGE
TOWNSITE SUBDIVISION**

A 5.031 ACRE RESUBDIVISION OF LOT 1, LOTS 1 & 2 BLOCK 36 EAST
ADD. ANCHORAGE TOWNSITE, PLAT NO. 96-121.

ANCHORAGE RECORDING DISTRICT,
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LOCATED WITHIN
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<p>DOWL AECL848 5015 Business Park Boulevard, Suite 4000 Anchorage, Alaska 99503 907-562-2000 www.dowl.com</p>	<p>W.O: 1181.63764.01 MOA CASE FILE NO: S12780 CERT/PLAT: FTA NO. F-91552 DATE OF DRAWING: 10/01/2024 DATE OF SURVEY: FEB 2024 SCALE: N/A FBK: 2724 GRID: SW 1231</p>
<p>DRAWN BY: AWS CHECKED BY: MWD</p>	<p>SHEET 2 OF 2</p>

